



City of Huntington Beach Planning and Building Department

STAFF REPORT

TO: Planning Commission
FROM: Scott Hess, AICP, Director of Planning and Building
BY: Jill Arabe, Associate Planner 
DATE: July 14, 2015

SUBJECT: **SITE PLAN REVIEW NO. 15-001/ CONDITIONAL USE PERMIT NO. 15-020/
VARIANCE NO. 15-003 (Beach Medical Pavilion)**

APPLICANT: Ware Malcomb, Mila Cobian, 10 Edelman, Irvine, CA 92618

PROPERTY

OWNERS: Blue Sky HB, LLC, Thomas LeBeau, 2 Corporate Plaza Dr., Suite 230, Newport Beach, CA 92660

LOCATION: 17752-17762 Beach Blvd., 92647 (southeast corner of Beach Blvd. and Newman Ave.)

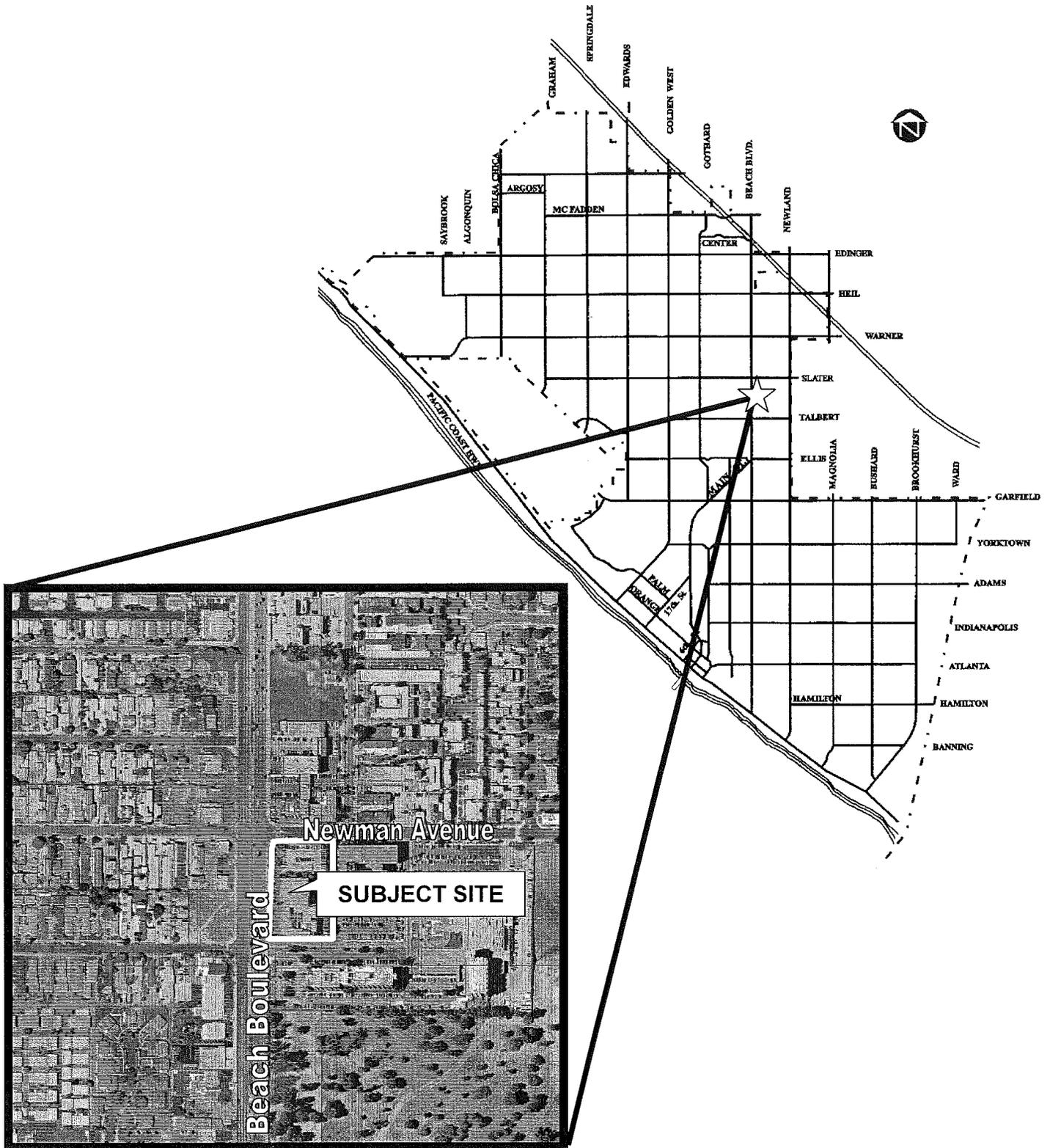
STATEMENT OF ISSUE:

- ◆ Site Plan Review (SPR) No. 15-001 request:
 - Permit construction of a 44,500 sq. ft. two-story medical office building, upgrade of the existing four-level parking structure, and associated site improvements on an approximately 1.8 acre site.
- ◆ Conditional Use Permit (CUP) No. 15-020 request:
 - Permit a 15 ft. front yard setback for the two-story medical office building in lieu of a minimum 30 ft. front setback.
- ◆ Variance (VAR) No. 15-003 request to allow:
 - (a) minimum one-foot wide landscape planter in lieu of five-feet adjacent to parking along the east property line (excluding two ft. overhang for parking stalls);
 - (b) one tree located in a diamond planter between spaces at the head of parking stalls in lieu of one tree located within a landscape finger/planter between every five parking spaces;
 - (c) no landscape planters adjacent to two parking spaces along the south property line in lieu of five-feet of landscape planter.
- ◆ Staff's Recommendation:

Approve SPR No. 15-001/ CUP No. 15-020/ VAR No. 15-003 with modifications, based upon the following:

 - Complies with the applicable Beach and Edinger Corridors Specific Plan (BECSP) requirements and other regulations including architecture, parking, access and circulation, building form and massing, and provision of open space.
 - Implements the vision of BECSP which encourages pedestrian oriented development.

#B-1



VICINITY MAP
SITE PLAN REVIEW NO. 15-001/
CONDITIONAL USE PERMIT NO. 15-020/ VARIANCE NO. 15-003
BEACH MEDICAL PAVILION
(17752-17762 BEACH BLVD.)

- Compatible with existing surrounding commercial uses and anticipated developments.

RECOMMENDATION:

Motion to:

“Approve Site Plan Review No. 15-001/ Conditional Use Permit No. 15-020 and Variance No. 15-003 (a and b) with suggested findings, conditions of approval, and modifications to provide a minimum five ft. wide landscape planter along the south property line (Attachment No. 1).” **(Staff’s Modifications)**

ALTERNATIVE ACTION(S):

The Planning Commission may take alternative actions such as:

- A. “Approve Site Plan Review No. 15-001/ Conditional Use Permit No. 15-020 and Variance No. 15-003 (a, b, and c) with suggested findings and modified conditions of approval.” **(Applicant’s Request)**
- B. “Deny Site Plan Review No. 15-001/ Conditional Use Permit No. 15-020/ Variance No. 15-003 with findings for denial.”
- C. “Continue Site Plan Review No. 15-001/ Conditional Use Permit No. 15-020/ Variance No. 15-003 and direct staff accordingly.”

PROJECT PROPOSAL:

Site Plan Review No. 15-001 represents a request to permit the construction of a 44,500 sq. ft. two-story medical office building, upgrade of the existing four-level parking structure, and associated site improvements including landscaping, public open space, and surface parking lot on an approximately 1.8 acre site pursuant to Beach and Edinger Corridors Specific Plan (BECSP) Section 2.1.7 Neighborhood Boulevard Segment.

Conditional Use Permit No. 15-020 is a request to permit a 15 ft. front yard setback for the two-story medical office building in lieu of a minimum of 30 ft. front setback pursuant to Resolution No. 2015-20 approving Zoning Text Amendment (ZTA) No. 15-003 to amend the BECSP.

Variance No. 15-003 is a request to allow: (a) minimum one-foot wide landscape planter in lieu of five-foot adjacent to parking along the east property line (excluding two ft. overhang for parking stalls) pursuant to BECSP Section 2.6.9; (b) one tree located in a diamond planter between spaces at the head of parking stalls in lieu of one tree located within a landscape finger/planter between every five parking spaces pursuant to BECSP Section 2.7.3; (c) no landscape planters adjacent to two parking spaces along the south property line in lieu of five-feet of landscape planter pursuant to BECSP Section 2.6.9.

The development will consist of an approximately 44,500 sq. ft. two-story medical office building and associated site improvements including an approximately 7,500 sq. ft. public open space, a refurbished four-level parking structure, and public art. Street improvements will be consistent with the specific plan

with the installation of new street and pedestrian lights, wider sidewalks and parkways, and enhanced landscaping.

Study Session

The project was presented to the Planning Commission on June 23, 2015. The Planning Commission had questions related to the setbacks of the proposed building and the existing Hoag building, the findings between the conditional use permit and variances, and the landscaping requirements. The property owner spoke about the project requests and the minimum size of the building necessary for the prospective tenant.

ISSUES:

Subject Property And Surrounding Land Use, Zoning And General Plan Designations:

LOCATION	GENERAL PLAN	ZONING	LAND USE
Subject Property:	M-sp-d (Mixed Use -- Specific Plan Overlay -- Design Overlay)	SP-14 (Beach and Edinger Corridors Specific Plan -- Neighborhood Boulevard Segment)	Commercial
North (across Newman Ave.), East, West (across Beach Blvd.), and South of Subject Property:	M-sp-d	SP-14 - Neighborhood Boulevard Segment	Commercial

General Plan Conformance:

The General Plan Land Use Map designation on the subject property is Mixed Use -- Specific Plan Overlay -- Design Overlay. The proposed project is consistent with this designation and the goals, objectives, and policies of the City’s General Plan as follows:

A. Land Use Element

Goal LU 4: Achieve and maintain high quality architecture, landscape, and public open spaces in the City.

Goal LU 4.2.4: Require that all development be designed to provide adequate space for access, parking, supporting functions, open space, and other pertinent elements.

Policy LU 10.1.4: Require that commercial buildings and sites be designed to achieve a high level of architectural and site layout quality.

Goal LU 11: Achieve the development of projects that enable residents to live in proximity to their jobs, commercial services, and entertainment, and reduce the need for automobile use.

The proposed development is consistent with the Beach and Edinger Corridors Specific Plan which encourages well articulated buildings, wider walkways, and public open space to enhance the pedestrian and public experience. Approximately 7,500 sq. ft. of public open space will be provided as a plaza at the northwest corner of the property. It will be designed with enhanced landscaping and seating areas. The architecture of the building is contemporary, incorporating a notch, major façade offset, and façade composition change to break up the massing of the building at the street frontage. A combination of concrete panels with form liner reveals, cornices, and gray color treatment is applied along the base of the building with a white aluminum panel canopy at the main lobby entrances. The façade skyline is then capped with parapet walls and cornices with articulating rooflines. This commercial development is proposed within close proximity of compatible existing commercial uses and residential uses in the vicinity. By permitting a mix of land uses closer together, greater interaction will occur between developments and further the vision and viability of the specific plan.

B. Urban Design Element

Goal UDI: Enhance the visual image of the City of Huntington Beach.

Policy UD 1.3.1: Require a consistent design theme and/or landscape design character along the community's corridors, that reflects the unique qualities of each district. Ensure that streetscape standards for the major commercial corridors, the residential corridors, and primary and secondary image corridors provide each corridor with its own identity while promoting visual continuity throughout the City.

The proposed building incorporates design features consistent with the BECSP including varied building articulation and height, compatible colors and materials, usable open space, and wider sidewalks thus improving the visual image along Beach Boulevard. Greater pedestrian activity is anticipated as development continues to progress consistent with the specific plan along the Beach Boulevard corridor. Public improvements are proposed to Beach Boulevard which involve a wider sidewalk and parkway with pedestrian oriented street lights and enhanced landscaping.

C. Economic Development Element

Objective ED 2.4: Revitalize, renovate and expand the existing Huntington Beach commercial facilities while attracting new commercial uses.

Policy ED 2.4.1: Encourage and assist existing and potential commercial owners to modernize and expand their commercial properties.

Policy ED 3.3.1: Work with land owners, businesses, and tenants located along the primary corridors and at the principal nodes to define the market character and to create district themes for market recognition purposes.

The existing medical office buildings are vacant and have attracted a transient population to unlawfully occupy the site. The demolition of the existing structures and development of a new office building will actively and visually improve the area. The 1.8 acre site is underutilized and is

envisioned to contribute to providing connections between developments in an efficient land use pattern. The proposed project is consistent with the vision for the Beach Boulevard corridor by providing medical services within close proximity of other commercial and residential uses.

D. Circulation Element

Goal CE 8: Maintain and enhance visual quality and scenic views along designated scenic corridors.

Policy CE 8.6: Integrate scenic corridors with open spaces and recreational uses, enhancing public spaces and transitions between differing uses.

The proposed streetscape will initiate the vision for the Neighborhood Boulevard Segment of the specific plan. It will provide a parkway landscape buffer for pedestrians using the public sidewalk. Pedestrian connectivity will be improved with abundant landscaping and architectural elements incorporated within the new public open space plaza and enhanced building features.

Zoning Compliance:

This project is located within Specific Plan No. 14 Beach and Edinger Corridors Specific Plan and complies with the requirements of the Neighborhood Boulevard Segment with exception of the CUP proposed for front setback and variances proposed for trees and landscaping. The table in Attachment No. 6 shows an overview of the project's conformance to the significant development standards of the BECSP. In addition, a list of City Code Requirements of the applicable provisions of the BECSP and the Huntington Beach Zoning and Subdivision Ordinance (HBZSO) and Municipal Code has been provided to the applicant and attached to this report (Attachment No. 4) for informational purposes only.

Urban Design Guidelines Conformance:

The project is required to comply with the architectural regulations and guidelines of the BECSP. A detailed discussion of the project's design is provided in the Analysis section of this staff report.

Environmental Status:

The proposed project is exempt under the provisions of the California Environmental Quality Act pursuant to Section 15302 of the CEQA Guidelines and Government Code 65457, which states that the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced is exempt from further environmental review. The project involves the replacement of two medical office buildings with one new medical office building of substantially the same size, purpose, and capacity.

Coastal Status: Not applicable.

Redevelopment Status: Not applicable.

Design Review Board: Not applicable

Subdivision Committee: Not applicable.

Other Departments Concerns and Requirements:

The Departments of Public Works, Police, Fire, and Planning and Building have reviewed the project and identified a list of recommended conditions that are incorporated into the suggested conditions of approval as well as code requirements (Attachment No. 4).

Public Notification:

Legal notice was published in the Huntington Beach/Fountain Valley Independent on July 2, 2015, and notices were sent to property owners of record and tenants within a 500 ft. radius of the subject property, individuals/organizations requesting notification (Planning Division's Notification Matrix), applicant, and interested parties. As of July 7, 2013, no communication supporting or opposing the request has been received.

Application Processing Dates:

DATE OF COMPLETE APPLICATION:

June 22, 2015

MANDATORY PROCESSING DATE(S):

September 22, 2015 (within 60-days)

ANALYSIS:

The purpose of the BECSP is to enhance the overall economic performance, physical beauty and functionality of the Beach Boulevard and Edinger Avenue Corridors. Future development would transform existing commercial strips, which are predominantly lined with large expanses of pavement or underperforming uses, to a pattern composed of clusters of shops, activity, mix, and intensity – *Centers* and cohesive building types, frontage landscaping, and emerging market focus - *Segments*. Since the adoption of the BECSP, redevelopment of commercial strips into mixed use and residential buildings have stimulated existing commercial sites such as auto dealerships (i.e., Chevrolet, Dodge, Nissan, Honda) and larger commercial centers (i.e., Edinger Plaza, Beach Garfield Center, Five Points Plaza) to remodel and upgrade their buildings.

As previously mentioned, the project site is located within the Neighborhood Boulevard segment of the BECSP, which primarily covers commercial sites between Talbert and Warner Avenues (excluding the Charter Centre and four corners of Talbert Ave. and Beach Blvd.) Currently, development types in this segment are dominated by one-story, single-loaded commercial buildings surrounded by surface parking lots with little landscaping or pedestrian amenities. The development approach in this area is to facilitate long-term transition from strip retail to uses more focused on nearby populations, featuring development types that retain visibility to motorists on Beach Boulevard, while providing a more visually attractive and comfortable pedestrian environment.

BECSP Conformance

The proposed project is consistent with the intent of the Neighborhood Boulevard segment of the BECSP as stated above and overall objective of the BECSP to improve the vitality of the Beach Boulevard corridor. Redevelopment of the site will replace the existing aging medical office buildings, built in the 1970's, with an improved healthcare office design. As identified in the narrative (Attachment No. 3), the new building will accommodate tenancy for medical groups that provide multi-specialty care, radiology, urgent care, dialysis, and renal care. Proposed site improvements include a new surface parking lot located behind and to the side of the new building, a refurbished parking structure, and an enhanced lobby entrance into the building with direct convenient access from the public right-of-way. The public right-of-way will be designed with a six-foot wide sidewalk and four-foot wide parkway. Along the street frontage, the project proposes an approximately 7,500 sq. ft. public open space and minimum 15 ft. landscape planter lined with a combination of palm trees, shrubs, and groundcover. As discussed under the Zoning Conformance section of this report, the project complies with the BECSP development code with exception of the conditional use permit to consider a 15 ft. reduced setback for the proposed use and variances for trees and landscape planter widths adjacent to the surface parking lot. Adequate emergency access is provided with alternate means and methods as confirmed by the Fire Department. Sufficient quantity of 201 parking spaces is proposed within the parking structure and surface parking lot.

Architecture – Building Massing and Scale

The BECSP relies on massing and scale to dictate the desired building form and interaction with the public experience. The exterior base treatment of the building incorporates gray painted concrete panels with form liner reveals, smooth finished plaster cornices, and a white aluminum panel canopy for the main entrance. Applied as the top element of the building are dark gray parapet screen walls and cornices at varying heights.

The maximum allowable height for the subject site is four stories, but the proposed building is only two stories. Measured from finished floor, the overall height of the new building is 39 ft. to the top of the parapet walls. The site has a grade differential that matches the descending slope of the street heading northbound on Beach Boulevard. The design of the building follows a terracing effect with the grade of the site. Rooftop mechanical equipment is located centrally on top of the building and screened from street view by parapet walls. The parapet walls are setback between two and five feet from the exterior facades. Vertical movement is also apparent by each volume's massing combined with a variation of colors, windows, and wall treatment. Massing elements along the Beach Boulevard frontage include a notch, major façade offset, and façade composition change.

Land Use Compatibility

The proposed two-story commercial development is a visual improvement to the area. It is compatible with surrounding commercial uses such as existing medical services, the Huntington Beach Hospital, retail stores, and restaurants. Existing buildings are primarily single- or two-stories with exception of the adjacent hospital and medical office building at four stories. The existing surface parking lot fronting Beach Boulevard will be removed and replaced with greater usable public open space, attractive landscaping, and a new two-story building constructed closer to the street for convenient pedestrian access to medical services and improved presence along the street. The proposed use would also serve the

residential population in the vicinity and create employment opportunities and economic benefits to the surrounding area.

Conditional Use Permit – 15 Feet Front Setback

On May 4, 2015, the City Council approved Resolution No. 2015-20 to amend the Beach and Edinger Corridors Specific Plan, which included a change to the required front setback (adjacent to streets) in all segments/districts of the specific plan to a minimum of 30 feet. This new setback requirement was approved to adequately provide a greater visual relief of the height of new structures and potential uses along the streets. In order to offer flexibility in the setback requirement, however, the City Council also decided to allow a minimum 15 ft. setback subject to review and approval by the Planning Commission. The allowance of a 15 feet front yard setback is therefore related to land use compatibility, overall project design, and consistency with the General Plan.

Prior to the amendment, this segment of the BECSP had a minimum front setback of 12 feet and maximum front setback of 25 feet. After the Council adopted the amendment to the BECSP, the applicant revised the proposed plan for an additional three foot setback and submitted a CUP request. As previously stated, future development would create a visually attractive and comfortable pedestrian experience. In doing so, buildings would be constructed closer to the streets and expansive parking lots would be minimized along street frontages. Pedestrian connections from the right-of-way to the buildings would be more convenient and safer for residents and visitors to the site. Furthermore, development would incorporate public open spaces to encourage pedestrian activity.

The proposed project requests a 15 feet front setback consistent with the intent of the BECSP, which is to create a setting that enhances the walking and driving environment as well as the visual identity of the corridors. The new medical office building is two-stories high and the distance from the back-of-sidewalk (property line) varies from a minimum setback of 15 feet for a length of 60 feet to a maximum setback of 26 ft. for a length of 12 feet. The average front setback for the new building is 18 feet. Along the site's entire Beach Boulevard frontage, the average front setback of the new building and parking structure is approximately 29 feet. Considering that the setback is fully landscaped with trees, drought tolerant plants, groundcover, and decorative paving with the inclusion of a public open space plaza at the corner of the property, the reduced 15 feet setback for the new two-story building is unobtrusive to the vehicles and pedestrians traversing Beach Boulevard. Moreover, the architectural design and enhancements of the building façades combined with vertical and horizontal articulation create a visually inviting street frontage. Each massing volume has different features and details that break up the bulk of the building. The horizontal aluminum panel canopy at the main lobby entrance is visually prominent and provides convenient shade for visitors. Based on the 18 ft. average setback and a high quality landscape and open space area, staff supports the CUP request for a reduced 15 ft. setback.

Variances

- Landscape Planter Width (excluding two-foot overhang) Along East Property Line
The BECSP requires setback areas to be landscaped. The east property line of the subject site is a side property line with a minimum setback requirement of five feet. The request to minimize the landscape planter width to a minimum of one-foot (excluding the two-foot overhang for the parking stalls) is due to existing conditions that hinder development within the remaining developable area of

the property. Existing conditions include the existing parking structure and the grade differential of the site as it slopes down towards the north of the property. The existing parking structure in its current location limits the design of the new surface parking lot because it forces the drive aisle of the new surface parking lot to connect with the south opening of the existing parking structure. By requiring an additional four ft. of landscaping along the east property line, the drive aisle location and parking stalls would shift westerly. Vehicular movement from the garage through the parking lot would be challenging. Additionally, the grade differential on the subject site is about nine feet and limits the location of handicap stalls and access. In the current proposed parking lot configuration, the design works with the existing grades and provides for adequate handicap stalls and access and sufficient drainage pattern on the site.

Perimeter landscaping is intended to provide a visual separation and aesthetically pleasing buffer along property lines and break up the expansive pavement that is prevalent in older parking lots. Since the adjacent easterly site contains landscaping and abundant trees that integrate with the subject site, additional landscaping of five feet, as required by the BECSP, is unnecessary. Although two-feet of landscaping for the overhang of the 19 ft. parking stall is not counted towards meeting the setback area landscaping requirement, the development will visually supply a minimum total landscape width of three feet along the east property line. Staff supports the reduction of setback area landscaping along the east property line because existing conditions limit developable area of the site.

- Parking Lot Trees

The BECSP requires that continuous rows of parking stalls shall be subdivided by trees planted at a minimum spacing of one tree every five spaces. The trees are to be located between the sides of perpendicular parking stalls and in curbed landscape islands or in flush tree wells with tree guards. The purpose of the requirement is to add shade and trees that break up the visual monotony of parking lot pavement, as well as offsetting the reduction in BECSP parking requirements for certain uses with the visual aesthetic of trees in landscape islands. The request to consider an exchange of the placement of trees in landscape islands between every five stalls to diamond planters at the head of stalls is due to the limited configuration of the new parking lot as it relates to the existing grade differential and parking structure location. The existing parking structure in its current location forces the drive aisle of the new surface parking lot to connect with the south opening of the structure, thus limiting the design of the parking lot. By inserting landscape fingers between every five spaces, approximately eight parking spaces would have to be removed and relocated around the site and there are no additional developable areas where parking spaces may be integrated properly. The installation of landscape islands would also require the reduction of the building size by 1,778 sq. ft.

Trees in landscape islands located between every five parking spaces are visually pleasing and offer shade opportunities on warm days. However, based on the number of trees that are proposed on the site, the square footage of landscaping proposed, and the existing constraints on the site that limit developable areas on the property, the installation of diamond planters at the head of stalls will adequately substitute for the trees in landscape fingers/islands requirement. Additionally, the parking lot is not visible from the public right-of-way and an abundant amount of trees are located throughout the parking lot that offer shade opportunities. Staff supports the exchange of trees in diamond planters in lieu of trees in landscape islands at the side of every five stalls.

- Landscape Planter Width Adjacent to South Property Line

The south property line is shared with an access driveway easement that was developed with the Huntington Beach Hospital. Specifically, the egress lane of the driveway easement abuts the subject site. A minimum five-foot wide landscape planter between parking stalls and the south property line is required as visual separation of the subject site from the adjacent property and would enhance the aesthetic appearance of the site perimeter. Furthermore, the landscape planter would improve maneuvering and access to the parking stalls, and minimize the potential for vehicle queuing into the access easement. For example, vehicles moving in and out of the stalls adjacent to the property line may potentially hinder vehicles trying to safely enter the site from the access easement. By providing an increased landscape buffer on the subject site adjacent to the property line, the visibility of a vehicle entering the site from the easement would be improved if the parking stall was located further north from the property line. Staff does not support the design of parking stalls abutting the property line, and instead recommends minimum five feet wide landscape planters (removal of two stalls) with a commensurate reduction of the building square footage.

SUMMARY:

Staff recommends approval of Site Plan Review No. 15-001/Conditional Use Permit No. 15-020/Variance No. 15-003 with modifications and findings and conditions of approval because the project:

- Complies with the applicable Beach and Edinger Corridors Specific Plan (BECSP) requirements and other regulations including architecture, parking, access and circulation, building form and massing, and provision of open space.
- Implements the vision of BECSP which encourages pedestrian oriented development.
- Compatible with existing surrounding commercial uses and anticipated developments.

ATTACHMENTS:

1. Suggested Findings and Conditions of Approval for Site Plan Review No. 15-001/Conditional Use Permit No. 15-020/Variance No. 15-003
2. Site Plan, Floor Plans, and Elevations dated June 22, 2015
3. Project Narrative dated June 23, 2015
4. Code Requirements Letter dated July 6, 2015 (for informational purposes only)
5. Applicant's Response to Planning Commission comment received and dated July 7, 2015
6. Zoning Conformance Matrix

SH:JJ:ja:kd

ATTACHMENT NO. 1

SUGGESTED FINDINGS AND CONDITIONS OF APPROVAL

SITE PLAN REVIEW NO. 15-001

CONDITIONAL USE PERMIT NO. 15-020

VARIANCE NO. 15-003

SUGGESTED FINDINGS FOR CEQA EXEMPTION:

The Planning Commission finds that the project will not have any significant effect on the environment and is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to section 15302 of the CEQA Guidelines and Government Code 65457, because the project involves the replacement of two medical office buildings with one new medical office building of substantially the same size, purpose, and capacity.

SUGGESTED FINDINGS FOR APPROVAL – SITE PLAN REVIEW NO. 15-001/ CONDITIONAL USE PERMIT NO. 15-020:

1. Site Plan Review No. 15-001/ Conditional Use Permit No. 15-020 for the construction of a 44,500 sq. ft. two-story medical office building and a 15 ft. front yard setback in lieu of 30 ft. will not be detrimental to the general welfare of persons working or residing in the vicinity or detrimental to the value of the property and improvements in the neighborhood. The proposed project will replace two vacant medical office buildings of approximately 48,000 sq. ft. combined and will update a dilapidated parking structure. The commercial development, with the recommended conditions of approval, incorporates elements that provide compatibility of use and design with existing and potential development in the vicinity of the project site, promotes the revitalization of an aging segment of Beach Boulevard, and supports other development surrounding the site. The proposed building features an appropriate design of recesses, façade offsets, massing composition, and pedestrian connections with the street and public open space. Furthermore, the 15 ft. front setback area is composed of abundant landscaping and usable public open space to promote a comfortable pedestrian experience and convenient accessibility. At two stories in height with building offsets of four to ten feet back from the 15 ft. front facade, the building does not pose an overwhelming presence to pedestrians or vehicles along Beach Boulevard. When the trees in front of the building mature, they will provide scale and proportion to the building and ensure compatibility of the project with the street scene. The design of the building is attractive and provides greater visibility of the medical office use along the street than the prior structures. Redevelopment of the site will improve this segment of Beach Boulevard and potentially motivate other commercial properties to redevelop.
2. The project will not adversely affect the Circulation Plan of the BECSP. The project will provide public right-of-way improvements along Beach Boulevard and is conditioned to appropriately dedicate and improve Newman Avenue upon possible removal of the existing parking structure pursuant to the BECSP development code. The improvements to Beach Boulevard will create a sidewalk protected from the street lanes by a parkway, upgraded lighting fixtures, and a visually attractive street frontage. The public frontage of the streets establishes public realms that focus on pedestrians rather than vehicles. Pedestrian connectivity with the public open space will be enhanced with landscaping to attract activity into and around the site. The project will pay fees commensurate

with the project's contribution of traffic on the area-wide roadway system.

3. The proposed commercial development will comply with the provisions of the BECSP development code as specified in the Neighborhood Boulevard Segment. In addition, the project meets all applicable provisions of Titles 20-25 of the Huntington Beach Zoning and Subdivision Ordinance. The proposed project meets code requirements in terms of building height, massing and volume, public open space, and parking with exception of the variances for landscaping and trees and conditional use permit for front yard setback.
4. The project is consistent with the City's General Plan and applicable requirements of the Municipal Code. The granting of the site plan review will not adversely affect the General Plan. It is consistent with the Land Use Element designation of Mixed Use – Specific Plan Overlay – Design Overlay on the subject property. In addition, it is consistent with the following goals, objectives and policies of the General Plan:

A. Land Use Element

Goal LU 4: Achieve and maintain high quality architecture, landscape, and public open spaces in the City.

Goal LU 4.2.4: Require that all development be designed to provide adequate space for access, parking, supporting functions, open space, and other pertinent elements.

Policy LU 10.1.4: Require that commercial buildings and sites be designed to achieve a high level of architectural and site layout quality.

Goal LU 11: Achieve the development of projects that enable residents to live in proximity to their jobs, commercial services, and entertainment, and reduce the need for automobile use.

The proposed development is consistent with the Beach and Edinger Corridors Specific Plan which encourages well articulated buildings, wider walkways, and public open space to enhance the pedestrian and public experience. Approximately 7,500 sq. ft. of public open space will be provided as a plaza at the northwest corner of the property. It will be designed with enhanced landscaping and seating areas. The architecture of the building is contemporary, incorporating a notch, major façade offset, and façade composition change to break up the massing of the building at the street frontage. A combination of concrete panels with form liner reveals, cornices, and gray color treatment is applied along the base of the building with a white aluminum panel canopy at the main lobby entrances. The façade skyline is then capped with parapet walls and cornices with articulating rooflines. This commercial development is proposed within close proximity of compatible existing commercial uses and residential uses in the vicinity. By permitting a mix of land uses closer together, greater interaction will occur between developments and further the vision and viability of the specific plan.

B. Urban Design Element

Goal UDI: Enhance the visual image of the City of Huntington Beach.

Policy UD 1.3.1: Require a consistent design theme and/or landscape design character along the community's corridors, that reflects the unique qualities of each district. Ensure that streetscape standards for the major commercial corridors, the residential corridors, and primary and secondary image corridors provide each corridor with its own identity while promoting visual continuity throughout the City.

The proposed building incorporates design features consistent with the BECSP including varied building articulation and height, compatible colors and materials, usable open space, and wider sidewalks thus improving the visual image along Beach Boulevard. Greater pedestrian activity is anticipated as development continues to progress consistent with the specific plan along the Beach Boulevard corridor. Public improvements are proposed to Beach Boulevard which involve a wider sidewalk and parkway with pedestrian oriented street lights and enhanced landscaping.

C. Economic Development Element

Objective ED 2.4: Revitalize, renovate and expand the existing Huntington Beach commercial facilities while attracting new commercial uses.

Policy ED 2.4.1: Encourage and assist existing and potential commercial owners to modernize and expand their commercial properties.

Policy ED 3.3.1: Work with land owners, businesses, and tenants located along the primary corridors and at the principal nodes to define the market character and to create district themes for market recognition purposes.

The existing medical office buildings are vacant and have attracted a transient population to unlawfully occupy the site. The demolition of the existing structures and development of a new office building will actively and visually improve the area. The 1.8 acre site is underutilized and is envisioned to contribute to providing connections between developments in an efficient land use pattern. The proposed project is consistent with the vision for the Beach Boulevard corridor by providing medical services within close proximity of other commercial and residential uses.

D. Circulation Element

Goal CE 8: Maintain and enhance visual quality and scenic views along designated scenic corridors.

Policy CE 8.6: Integrate scenic corridors with open spaces and recreational uses, enhancing public spaces and transitions between differing uses.

The proposed streetscape will initiate the vision for the Neighborhood Boulevard Segment of the specific plan. It will provide a parkway landscape buffer for pedestrians using the public sidewalk. Pedestrian connectivity will be improved with abundant landscaping and architectural elements incorporated within the new public open space plaza and enhanced building features.

SUGGESTED FINDINGS FOR APPROVAL – VARIANCE NO. 15-003:

1. The granting of the variances for (a) minimum one-foot wide landscape planter in lieu of five-foot adjacent to parking along the east property line (excluding two ft. overhang for parking stalls), and (b) one tree located in a diamond planter between spaces at the head of parking stalls in lieu of one tree located within a landscape finger/planter between every five parking spaces will not constitute a grant of special privilege inconsistent with limitations upon other properties in the vicinity and under the same zone classification since the variances address unique development constraints related to the subject property including its surroundings, existing improvements, the site's grade differential, and existing parking structure location. The variances will not constitute a grant of special privilege because the property's existing physical conditions limit the location of the new structure and parking lot with the balance of existing improvements.
2. Because of special circumstances applicable to the subject property, including topography and location of existing parking structure improvements, the strict application of the zoning ordinance is found to deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification. The proposed surface parking lot configuration provides continuous vehicular circulation with the south opening of the existing parking structure that will remain. The additional four ft. landscape requirement would affect and shift the drive aisle location westerly which would create an awkward circulation pattern and shift in parking stalls. Additionally, the grade differential on the subject site is about nine feet and limits the developable area of the property. The proposed parking lot configuration works with the existing grades and provides for adequate handicap stalls and access and sufficient drainage pattern on the site. The trees located in diamond planters rather than landscape fingers/islands between stalls will provide adequate shade opportunities for the parking lot. Inserting landscape fingers/islands further minimizes the parking lot area in conjunction with the existing constraints of the property.
3. The granting of the variances is necessary to preserve the enjoyment of one or more substantial property rights. The variances will promote better pedestrian and vehicular circulation throughout the site. The parking structure would remain in the same location with architectural upgrades compatible with the new building. The site will meet its parking requirements and access lane widths. The project cannot meet the applicable landscape width requirement along the east property line and tree requirement between every five spaces due to the existing grade differential and parking garage location. Consequently, strict application of the specific plan would deprive the property owner of the right to remodel and improve the property to meet objectives for community character and vehicular circulation objectives.
4. The granting of the variances will not be materially detrimental to the public welfare or injurious to property in the same zone classification and is consistent with the General Plan. The existing parking lot along Beach Boulevard will be replaced with public open space, landscaping, and a new building, with an improved surface parking lot at the rear of the new building. The landscape planter adjacent to the east property line is abutting an existing parking lot on the adjacent site with perimeter landscape screening and will therefore not affect surrounding areas. No significant impacts related to traffic, noise, or safety, are anticipated as a result of the proposed location and aesthetics of the improved surface parking lot.

**SUGGESTED CONDITIONS OF APPROVAL – SITE PLAN REVIEW NO. 15-001/
CONDITIONAL USE PERMIT NO. 15-020/ VARIANCE NO. 15-003:**

1. The site plan, floor plans, and elevations received and dated June 10, 2013 shall be the conceptually approved design with the following modifications:
 - a. A minimum 5 ft. landscape planter width shall be provided between the south property line and adjacent parking stalls on the subject site.
 - b. The square footage of the proposed medical office building shall be reduced by 445 sq. ft. or the site layout shall be redesigned to accommodate two additional parking spaces.
 - c. The public open space shall be improved with amenities such as benches, trash receptacles, and shade trees. The final design for the public open space shall be reviewed and approved by the Planning and Building Department.
 - d. The interior of the parking structure walls and ceiling shall be painted in white and lighting shall be located directly between parking stalls or in the center of parking structure aisles. Security measures such as surveillance cameras or onsite security personnel shall be reviewed and approved by the Police Department.
 - e. All new utilities such as backflow devices, Edison transformers, and double check detector assembly devices shall be relocated outside of the front yard setback and screened from view by landscaping subject to review and approval by the Planning and Building Department.
 - f. Install metal pieces intermittently on benches, ramp, and retaining walls to mitigate possible skateboarding related damage and/or injuries. **(PD)**
 - g. Plant and maintain low landscaping surrounding the trash enclosure in order to maintain visibility around the area. **(PD)**
 - h. Civil Sheets No. 1 & 2 shall be revised to identify a 4 ft. parkway adjacent to curb within the public right-of-way.
 - i. The plans shall be revised to include improvements on the south and east elevations of the parking structure consistent with the west and north elevations, such as the base and top color treatments.
2. Prior to issuance of demolition permits, the following shall be completed:
 - a. Existing mature trees or palms that are to be removed must be replaced at a 2 for 1 ratio with a 36" box tree or palm equivalent. Applicant shall provide a Consulting Arborist report on all the existing trees or palms. Said report shall quantify, identify, size and analyze the health of the existing trees. The report shall also recommend how the existing trees that are to remain shall be protected or relocated and how far construction/grading shall be kept from the trunk.
3. Prior to issuance of a precise grading permit, the following shall be completed:

- a. An interim parking and building materials storage plan shall be submitted to the Planning Division to assure adequate parking and restroom facilities are available for employees, customers and contractors during the project's construction phase and that adjacent properties will not be impacted by their location. The plan shall also be reviewed and approved by the Fire Department, Public Works Department, and Planning and Building Department.
 - b. Blockwall/fencing plans (including a site plan, section drawings, and elevations depicting the height and material of all retaining walls, walls, and fences) consistent with the grading plan shall be submitted to and approved by the Planning Division. Double walls shall be prohibited.
 - c. A lighting plan depicting the boulevard-scale street lighting and pedestrian-scale street lighting along street frontages shall be submitted to the Planning and Building Department for review and approval by the Planning Division and Public Works Department.
 - d. The subject property shall submit evidence of the right to complete proposed median and curb improvements within the driveway easement area to the south of the subject parcel.
 - e. A detailed narrative or plan shall be submitted to the Planning Division explaining the sustainable or "green" building practices that will be incorporated into the project.
4. At least 14 days prior to any grading activity, the property owner/developer shall provide notice in writing to property owners of record and tenants of properties within a 500-foot radius of the project site as noticed for the public hearing. The notice shall include a general description of planned grading activities and an estimated timeline for commencement and completion of work and a contact person name with phone number. Prior to issuance of the grading permit, a copy of the notice and list of recipients shall be submitted to the Planning and Building Department.
5. Prior to submittal for building permits, the following shall be completed:
- a. One set of project plans and one 8 ½ inch by 11 inch set of all colored renderings, elevations, and materials sample and color palette, revised pursuant to Condition of Approvals and Code Requirements, shall be submitted for review, approval, and inclusion in the entitlement file, to the Planning Division.
 - b. Zoning entitlement conditions of approval, code requirements identified herein and code requirements identified in separately transmitted memorandum from the Departments of Fire, Building, and Public Works shall be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12 point.
 - c. The subject property shall enter into an Irrevocable Offer to Dedicate and improve the northerly portion of the site pursuant to Section 2.5.1 of Beach and Edinger Corridors Specific Plan. The Irrevocable Offer to Dedicate shall include language that dedication and improvements will be required in the event that the parking structure is demolished or removed/replaced.

6. Prior to issuance of building permits, the following shall be completed:
 - a. A public art element, approved by the Design Review Board, Director of Planning and Building, and the Cultural Services Supervisor, shall be depicted on the plans. Public Art shall be innovative, original, and of artistic excellence; appropriate to the design of the project; and reflective of the community's cultural identity (ecology, history, or society).
7. The structure cannot be occupied, the final building permit cannot be approved and issuance of a Certificate of Occupancy until the following has been completed:
 - a. All existing overhead utilities that occur along the project's Newman Avenue frontage shall be undergrounded. This includes the Southern California Edison (SCE) aerial distribution lines (12kV) and poles along the entire length of the westerly frontage of the subject project. This condition also applies to all utilities, including but not limited to all telephone, electric, and Cable TV lines. If required, easements shall be quitclaimed and/or new easements granted to the corresponding utility companies. **(PW)**
8. Address assignment application(s) shall be submitted for review and approval prior to submittal of tenant improvement permits for individual suites within the medical office building.
9. Signage shall be reviewed under separate permits and processing.
10. Comply with applicable mitigation measures for the project in conjunction with Environmental Impact Report No. 08-008.
11. The developer or developer's representative shall be responsible for ensuring the accuracy of all plans and information submitted to the City for review and approval.
12. SPR 15-001/ CUP 15-020/ VAR 15-003 shall become null and void unless exercised within two years of the date of final approval or such extension of time as may be granted by the Director pursuant to a written request submitted to the Planning and Building Department a minimum 30 days prior to the expiration date.
13. Sustainable or "green" building practices shall be incorporated into the design of the proposed structures and associated site improvements. Sustainable building practices may include (but are not limited to) those recommended by the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) Program certification (<http://www.usgbc.org/DisplayPage.aspx?CategoryID=19>) or Build It Green's Green Building Guidelines and Rating Systems (<http://www.builditgreen.org/green-building-guidelines-rating>).

INDEMNIFICATION AND HOLD HARMLESS CONDITION:

The owner of the property which is the subject of this project and the project applicant if different from the property owner, and each of their heirs, successors and assigns, shall defend, indemnify and hold harmless the City of Huntington Beach and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney's fees and costs against the City or its agents, officers or employees, to attack, set aside, void or annul any approval of the City, including but not limited to any approval granted by the City Council, Planning Commission, or Design Review Board concerning this

project. The City shall promptly notify the applicant of any claim, action or proceeding and should cooperate fully in the defense thereof.

RECEIVED

JUN 22 2015

Dept. of Planning
& Building



Huntington Beach MOB

17752-17762 BEACH BLVD
HUNTINGTON BEACH, CA

IRV15-3001-00
PLANNING SUBMITTAL PACKAGE
06.23.2015

WARE MALCOMB

architecture | planning | interiors
graphics | civil engineering

ATTACHMENT NO. 2.1

P.R.O. E.C.T. DATA

1.8 ACRES 78,408 SF
 SITE AREA
 APN 167-201-01
 BEACH EDINGER CORRIDOR
 ONE SPECIFIC PLAN 14
 FLOOR AREA RATIO FAR .57
 BUILDING AREA 44,500 GSF

FIRST FLOOR

MEMORIAL CARE - IMAGING 3,760 SF
 MEMORIAL CARE - URGENT CARE 4,432 SF
 PRESIDENT - DIAL SIS 10,934 SF
 COMMON SPACE 22,284 SF

SECOND FLOOR

MEMORIAL TENANT D' 3,905 SF
 MEMORIAL CARE - OFFICES 16,866 SF
 COMMON SPACE 22,284 SF

GROSS TOTAL

44,500 SF
 LANDSCAPE EXISTING 11,212 SF
 LANDSCAPE PROPOSED 16,541 SF

PLANNING NOTES
 ALL USES, LOCATIONS, AND
 STORAGE TO BE SUBMITTED UNDER SEPARATE APPLICATION

PRO ECT DESCRIPTION
 THIS PRO ECT IS FOR THE CONSTRUCTION OF A CLASS A TWO STORY
 MEDICAL OFFICE BUILDING WITH LAND AGENT REQUISITION PAR ING STRUCTURE
 THE PROPOSED PRO ECT INCLUDES THE DEMOLITION OF THE TWO EXISTING MEDICAL
 OFFICE BUILDINGS AND IMPROVEMENT OF THE EXISTING PAR ING STRUCTURE. THE
 SURFACE PAR ING WILL ALSO BE ENHANCED.

SUB ECT	CODE SECTION	RE USED	PROPOSED
BUILDING HEIGHT	2.3.1	1 STOR. MIN 4.5 STORES MAX 15' MAX	2 STOR 10'5" GROUND FLR
BUILDING LENGTH	2.3.3	300' MAX	187'
FRONT SETBACK	2.4.3	30' MIN	15' WITH VARIANCE
REAR SETBACK	2.4.5	15' MIN	N.A.
FRONTAGE COVERAGE	2.4.7	50' MIN 178'	51' 187' BLDG LENGTH
AMENIT SPACE	2.6.1	44,800 SQ 4,460 SF	7,500 SF
PAR ING	RECSIP 2.7.1	OFFICE - MEDICAL 4.5 SPACE 1000 SF 245 - 45 - 201	STRUCTURE 147 SURFACE - 54 - 291
ACC. SPOTS	108.0 118.0/30.2	7 ACC. SPOTS	7 ACC. SPOTS
LOADING ONE	108.0 231.04	1 SPACE - 20,000 SF 44,500 - 30,000 - 2.25	31 CARING STALLS

APPLICANT
 WARE MALCOMB
 12000 S. HUNTINGTON BLVD. SUITE 200
 HUNTINGTON BEACH, CA 92647
 P 949-856-1044

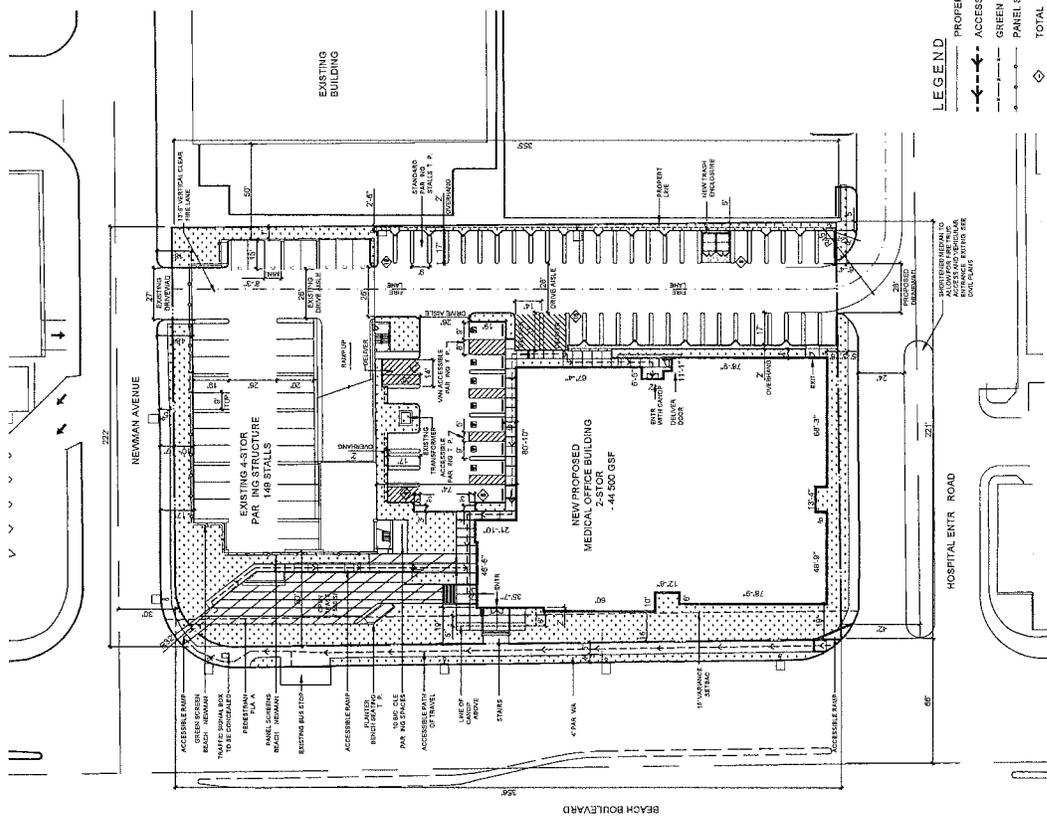
1" = 10'
 0 15 30 60
 NORTH

Site Plan

WARE MALCOMB

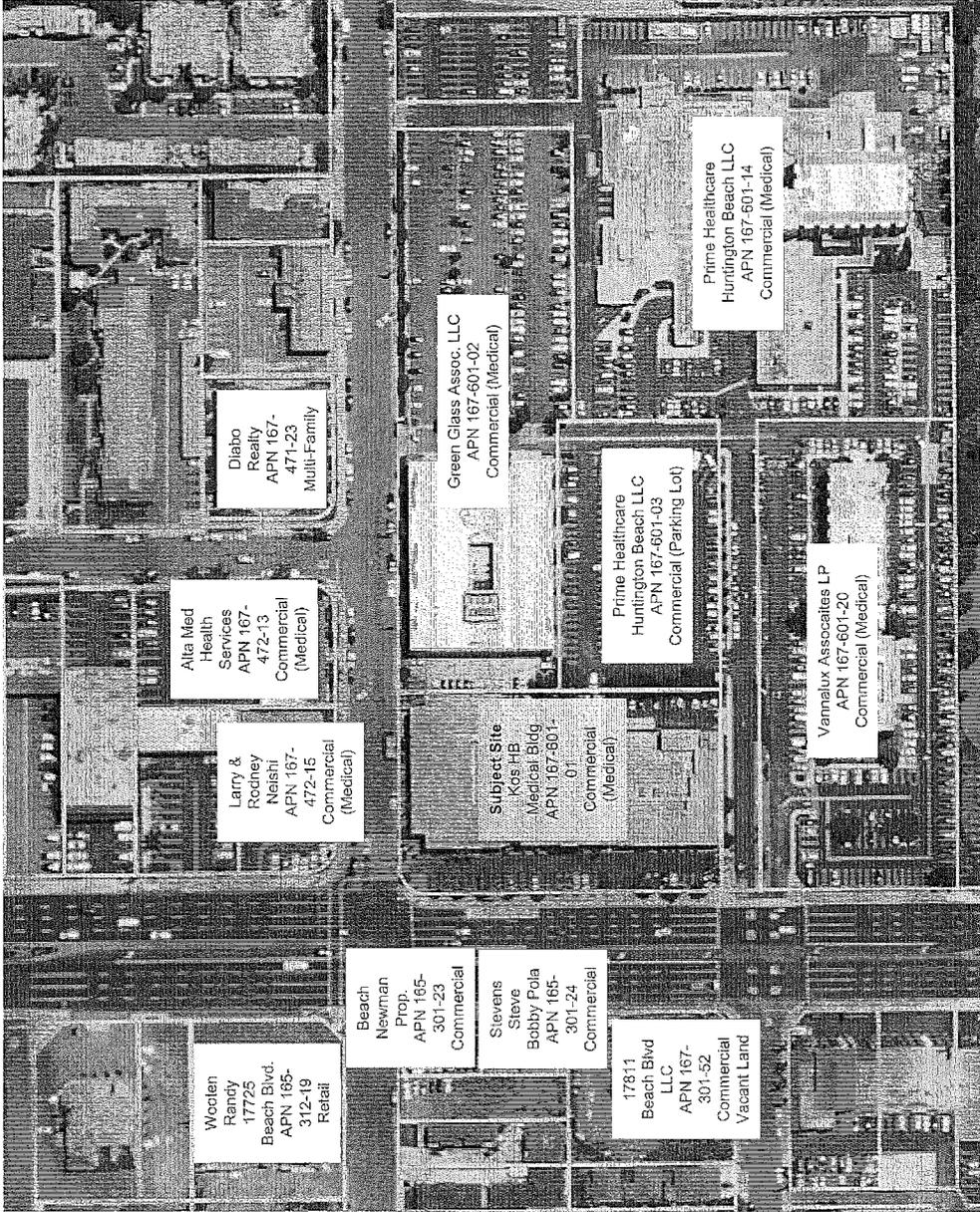
HUNTINGTON BEACH MEDICAL OFFICE BUILDING
 17752-17762 BEACH BLVD., HUNTINGTON BEACH, CA 92647

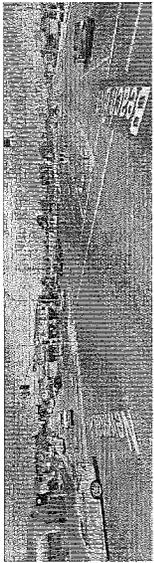
DIRECT
 12/19/15-2015
 06.13.2015



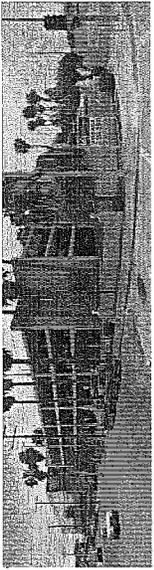
- LEGEND**
- PROPERTY LINE
 - ACCESSIBLE PATH OF TRAVEL
 - GREEN SCREEN
 - PANEL SCREEN
 - TOTAL OF STALLS PER ROW
 - SITE LIGHTING

ATTACHMENT NO. 2.2

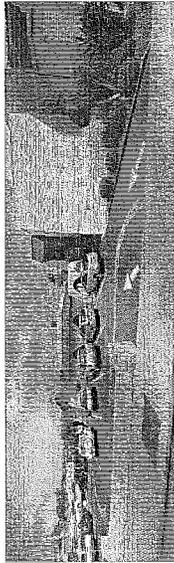




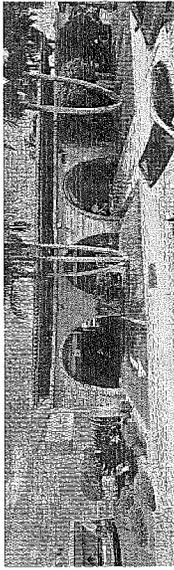
Beach Blvd & Newman St. Corner
SCALE N.T.S. 6



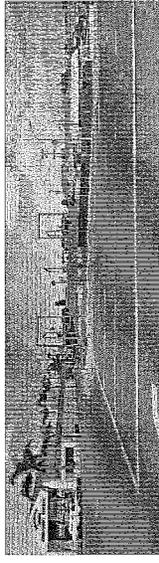
Existing Parking Garage
SCALE N.T.S. 2



Newman St. North
SCALE N.T.S. 7



Newman St. North
SCALE N.T.S. 3



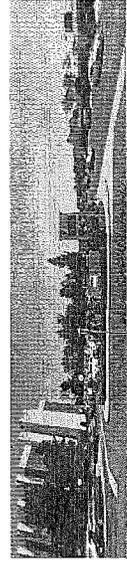
Beach Blvd. West
SCALE N.T.S. 8



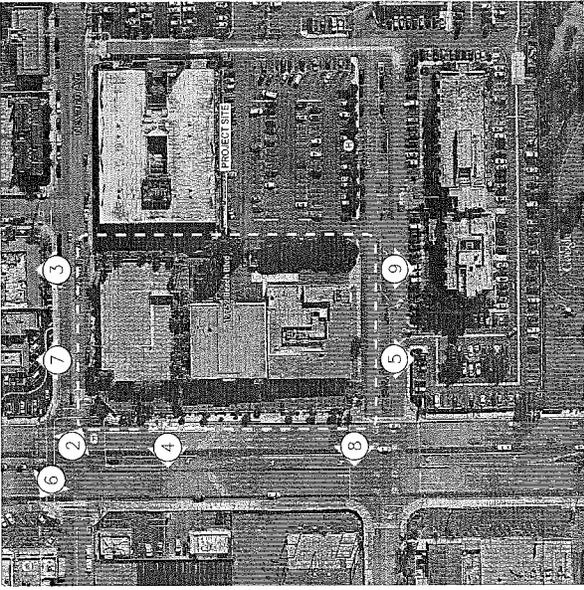
Beach Blvd. West
SCALE N.T.S. 4



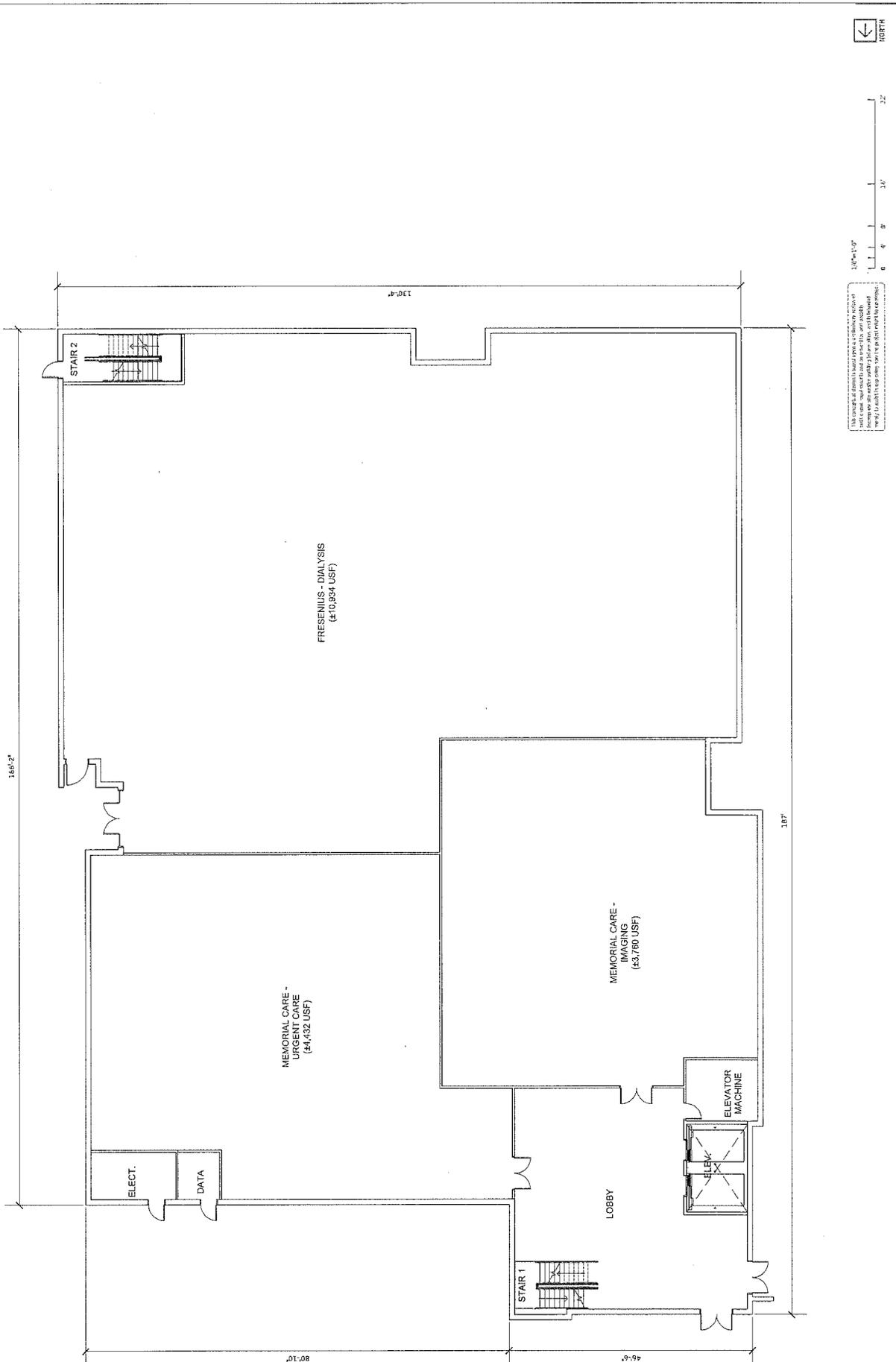
Huntington Beach Hospital Entry, South of Site
SCALE N.T.S. 9



Huntington Beach Hospital Entry, South of Site
SCALE N.T.S. 5



Overall Site & Surrounding Properties
SCALE N.T.S. 1



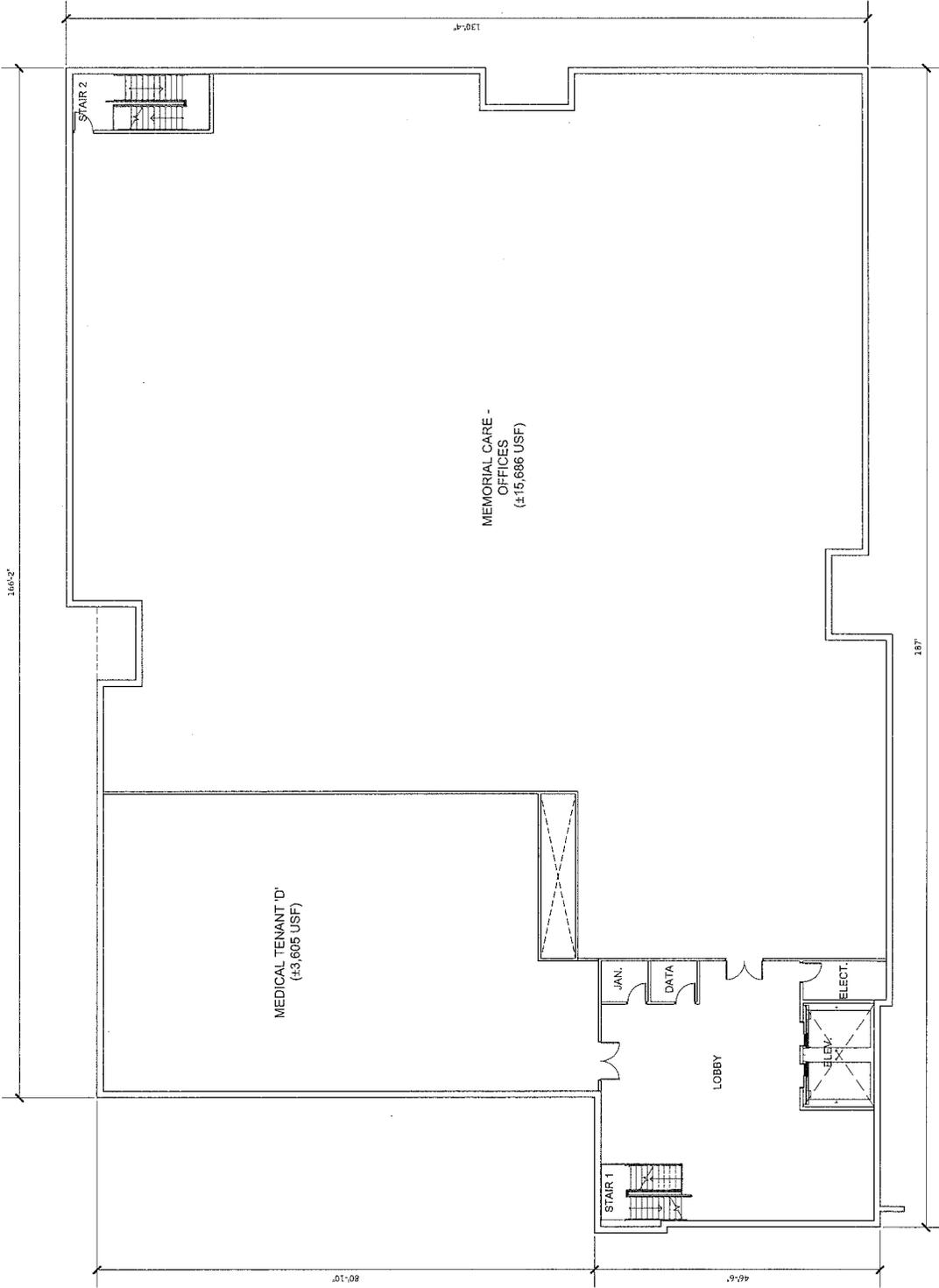
1/8"=1'-0"
 0 4 8 12 16 20 24 28 32
 NORTH

First Floor Plan

HUNTINGTON BEACH MEDICAL OFFICE BUILDING
 17752-17762 BEACH BLVD, HUNTINGTON BEACH, CA 92647

SHEET
 4

WARE MALCOMB
 2815-98100
 06-25-2015



All dimensions are shown to center unless otherwise noted. All dimensions are shown to center unless otherwise noted. All dimensions are shown to center unless otherwise noted.

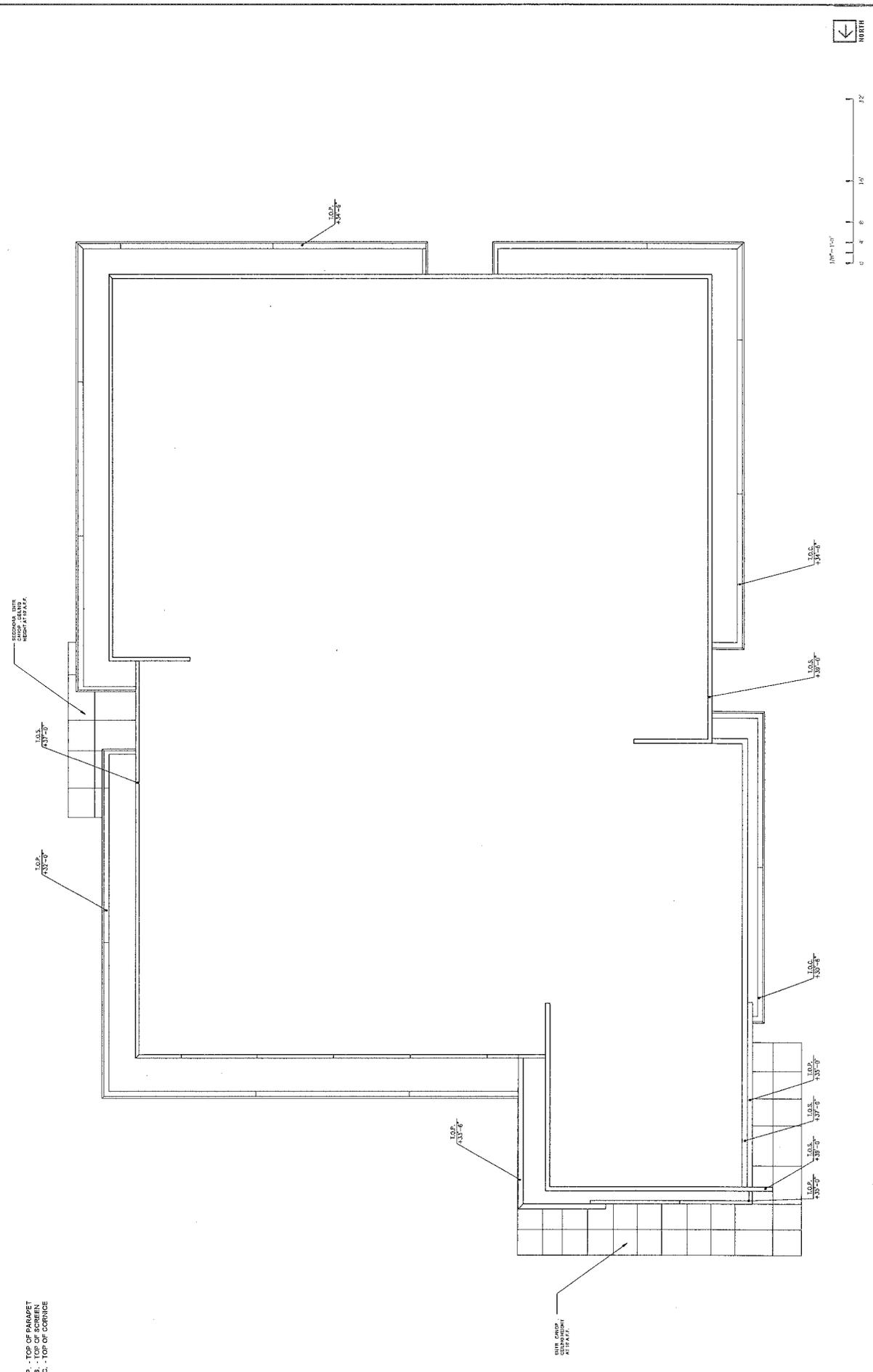


Second Floor Plan

HUNTINGTON BEACH MEDICAL OFFICE BUILDING
 17752-17762 BEACH BLVD, HUNTINGTON BEACH, CA 92647

WARE MALCOLM
 #P733-3003-06
 06.23.2015

SHEET
 5



T.O.P. - TOP OF PARAPET
 T.O.S. - TOP OF SCREEN
 T.O.C. - TOP OF CORNICE

SEE SECTION
 AT PAGE



Roof Plan

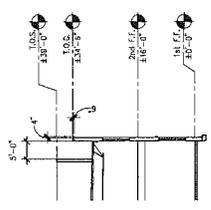
HUNTINGTON BEACH MEDICAL OFFICE BUILDING
 17752-17762 BEACH BLVD., HUNTINGTON BEACH, CA 92647

WARE MALCOMB
 ARCHITECTS
 17752-17762 BEACH BLVD.
 HUNTINGTON BEACH, CA 92647

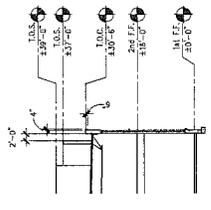
SHEET
 6

ATTACHMENT NO. 2.7

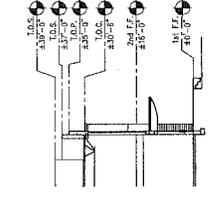
100.5 - TOP OF PARAPET
 100.5 - TOP OF SCREEN
 100.0 - TOP OF CHIMNEY



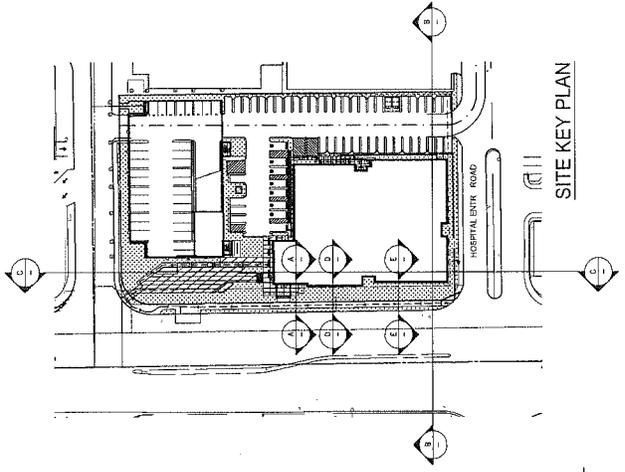
SECTION AT BEACH
 SCALE: 1/16"=1'-0"



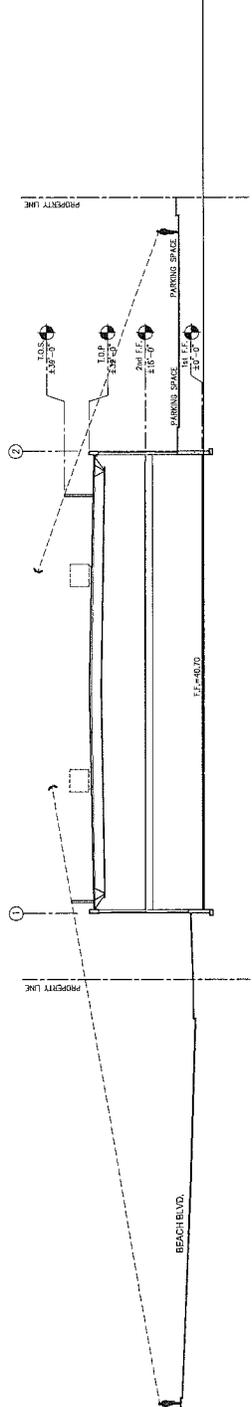
SECTION AT BEACH
 SCALE: 1/16"=1'-0"



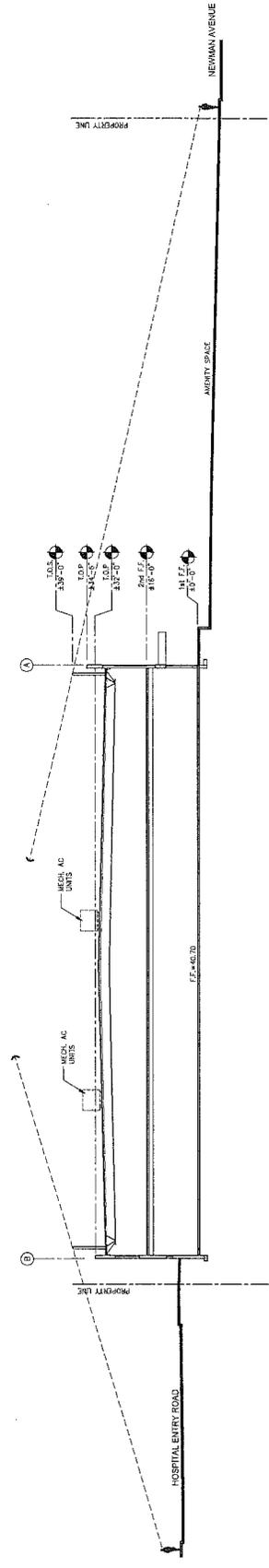
ENTR SECTION AT BEACH
 SCALE: 1/16"=1'-0"



SITE KEY PLAN

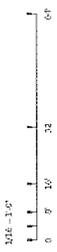


LINE OF SIGHT SECTION
 SCALE: 1/16"=1'-0"



LINE OF SIGHT SECTION
 SCALE: 1/16"=1'-0"

This architectural drawing is based upon a preliminary or concept plan and does not represent a final design. It is intended for informational purposes only. It is not to be used for any other purpose without the written consent of the architect.



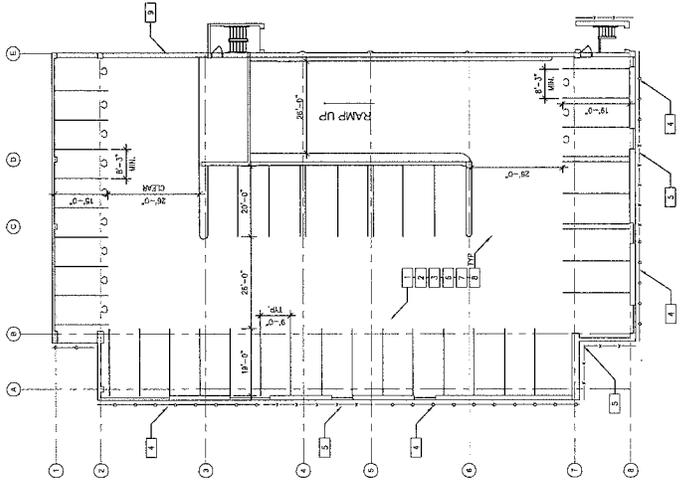
Line of Site Study
 HUNTINGTON BEACH MEDICAL OFFICE BUILDING
 17752-17762 BEACH BLVD, HUNTINGTON BEACH, CA 92647

WARE MALCOMB

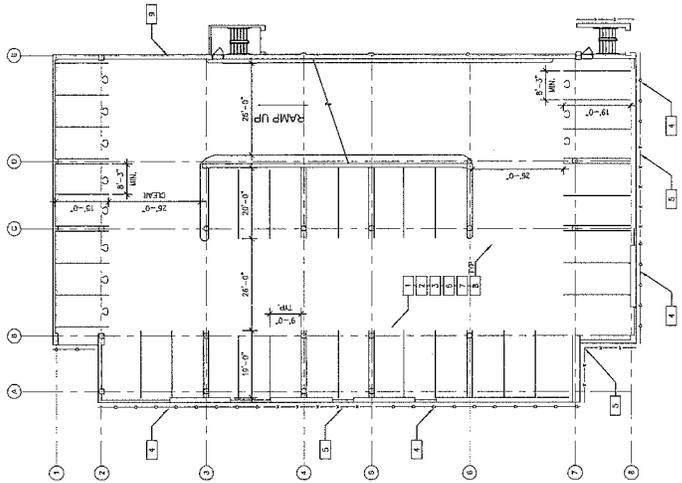
18152-2001-20
 05.23.2019

SHEET
 8

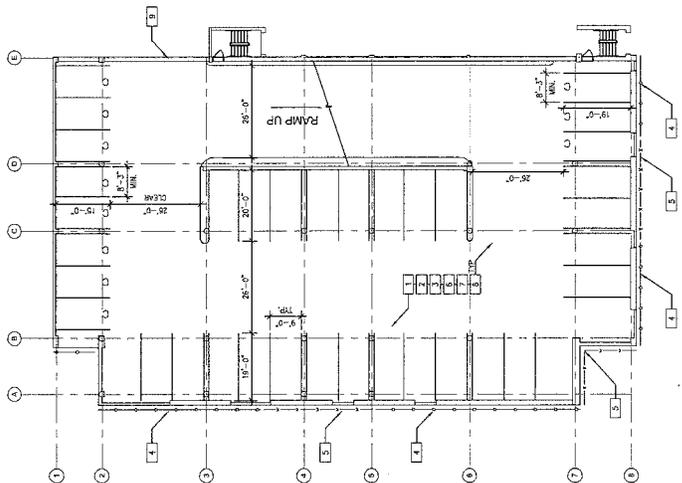
ATTACHMENT NO. 2.9



FOURTH FLOOR PLAN
SCALE: 1/8"=1'-0"



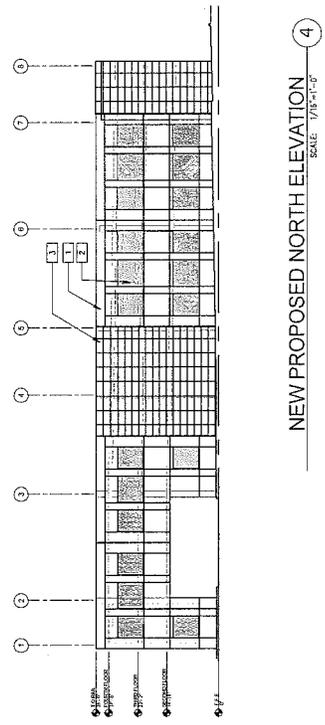
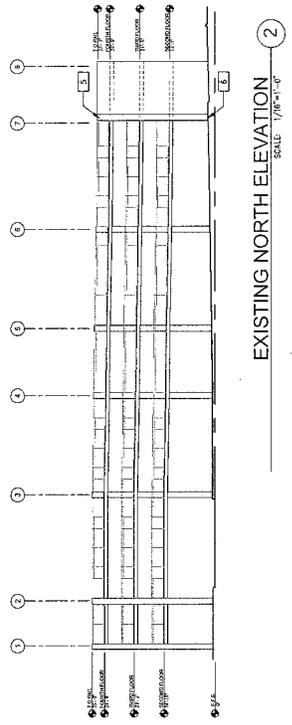
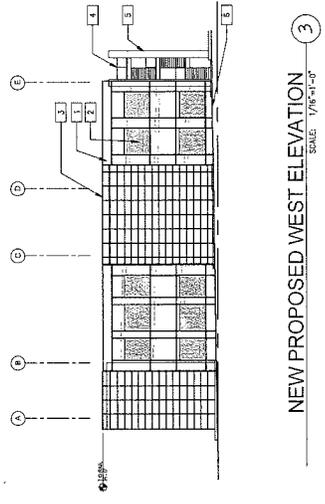
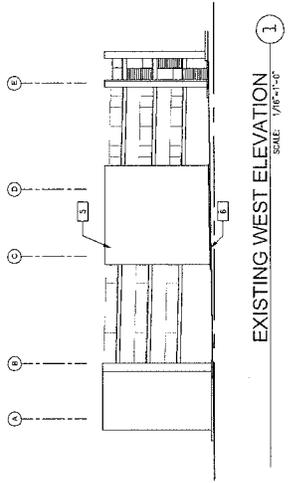
THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"



SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

GENERAL NOTES

- 1. PAINT INSIDE OF STRUCTURE WHITE.
- 2. REPLACE LIVING FRAMES, TRANSPARENT AND ADD FIGURES AS NEEDED.
- 3. STRIPE TO DOUBLE STRIPE, ORIGINAL SPACING REMAINS.
- 4. REPAIR AND REFINISH EXISTING FLOORING AND REPAIR TO MATCH NEW.
- 5. REPAIR AND REFINISH EXISTING WALLS AND CEILING.
- 6. REPAIR GREEN SCREEN WALLS ALONG BEACH AND NEWMAN. (REPAIR-BUILD CONTRACTOR)
- 7. REPAIR CONCRETE FLOOR WHERE NEEDED.
- 8. REPAIR/REPLACE CHAIRRAILS WHERE NEEDED.
- 9. REPAIR DIRECTIONAL INDICATORS PAINTED ON FLOORS.
- 10. CLEAN AND PAINT EXTERIOR TO MATCH NORTH AND WEST SIDE ENHANCEMENTS.
- 11. REPAIR EXISTING PARKING STRUCTURE AND COMPLEMENT THE NEW WORK.



Parking Structure Elevations

HUNTINGTON BEACH MEDICAL OFFICE BUILDING
17752-17762 BEACH BLVD., HUNTINGTON BEACH, CA 92647

GENERAL NOTES

- 1. ALL SOLID SCREEN WALLS ALONG BEACH AND INTERIOR TO MATCH NEW CONSTRUCTION.
- 2. ALL METAL MESH SCREEN WALLS TO BE CONSTRUCTED BY CONTRACTOR.
- 3. ALL SCREEN WALLS ALONG BEACH AND INTERIOR, DESIGN-BUILD CONTRACTOR SHALL VERIFY HANDRAIL.
- 4. VERIFY EXISTING WALL.
- 5. VERIFY LANDSCAPE.

KEY NOTES

1 HIGH PERFORMANCE GLAZING WITH CLEAR ANODIZED MULLION SYSTEM TYPICAL

2 SPANDREL GLAZING AS NEEDED

3 PAINTED CONCRETE PANELS WITH V-TYPE REVEALS AS SHOWN

4 ENTRANCE CANOPY WRAPPED IN COMPOSITE ALUMINUM PANEL SYSTEM

5 STANDOFF TENANT SIGNAGE LOCATION

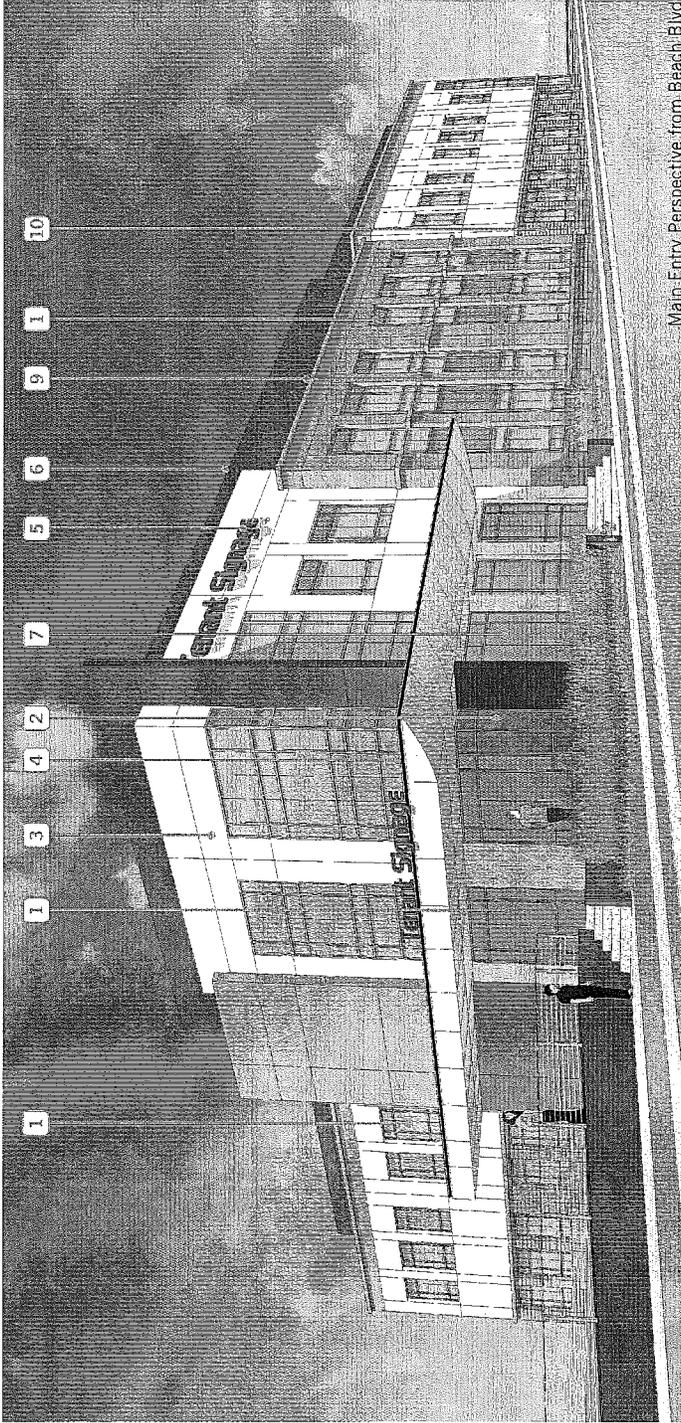
6 INTEGRATED MECHANICAL SCREEN WALL

7 MAIN BUILDING ENTRANCE OFF BEACH BLVD

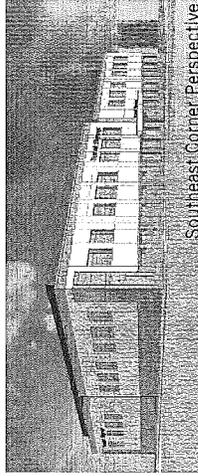
8 MEMORIAL CARE ENTRANCE

9 PAINTED SMOOTH FINISHED PLASTER CORNICE

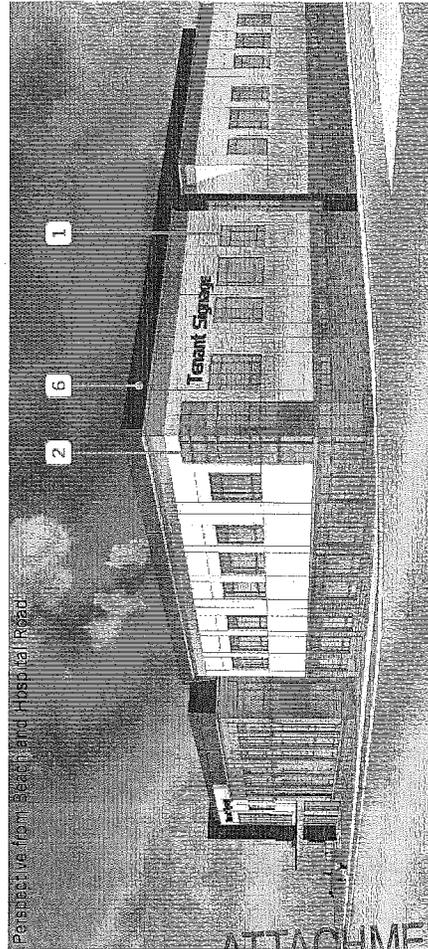
10 PAINTED CONCRETE PANELS WITH FORM LINER REVEALS AS SHOWN



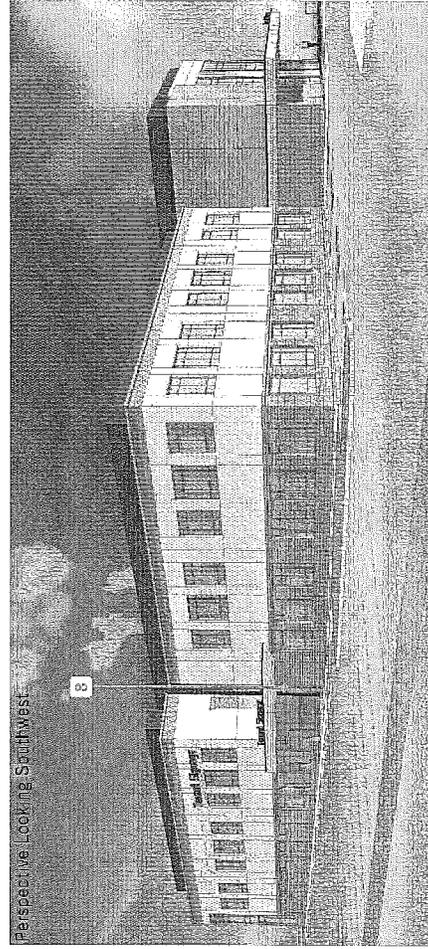
Main Entry Perspective from Beach Blvd



Southeast Corner Perspective



Perspective from Beach and Hospital Road



Perspective Looking Southwest

Conceptual Perspectives

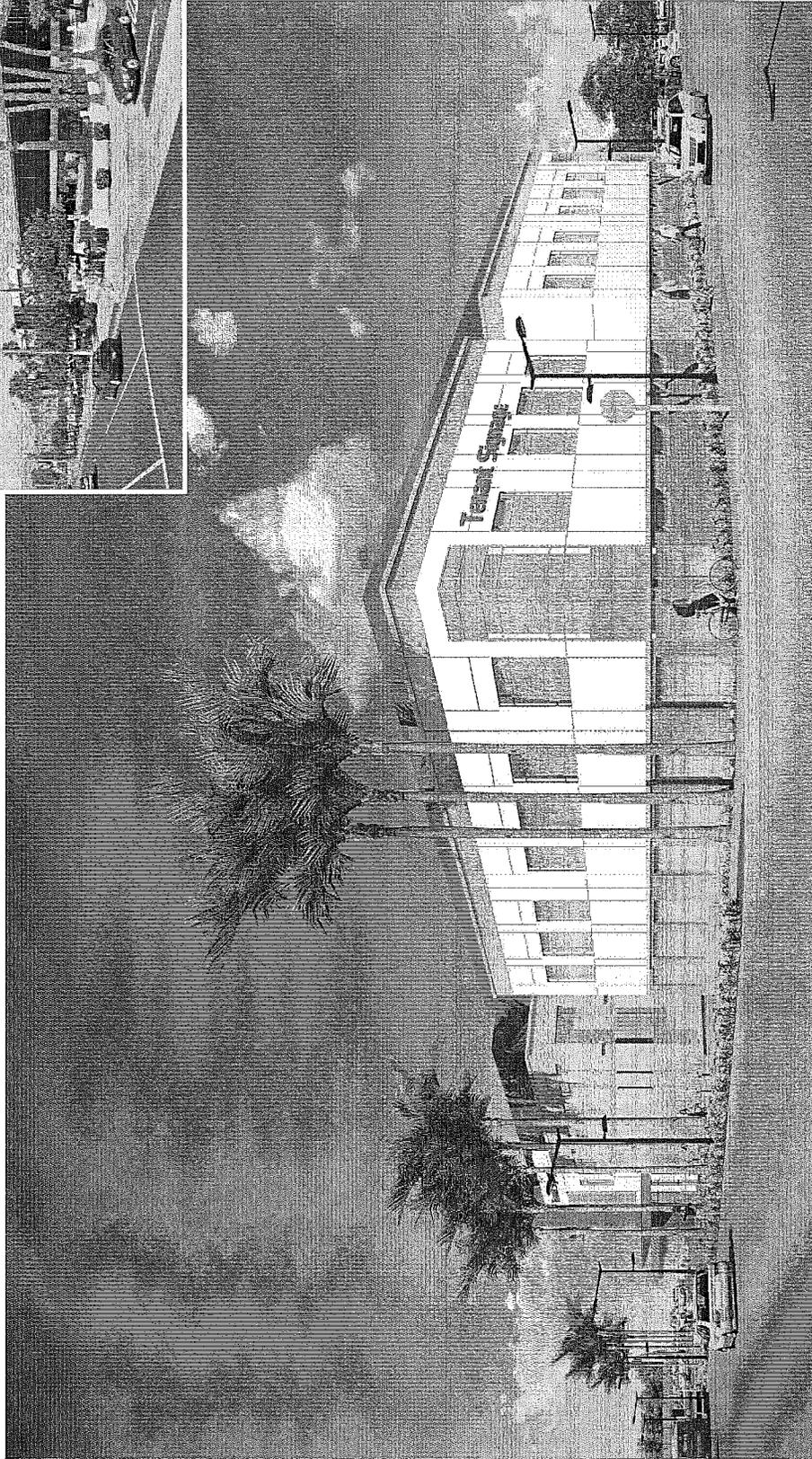
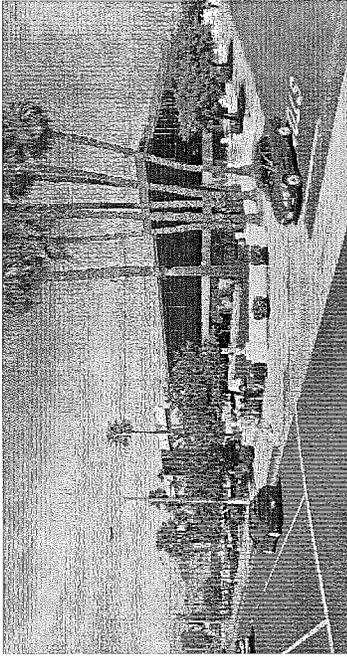
HUNTINGTON BEACH MEDICAL OFFICE BUILDING
177162-17762 BEACH BLVD, HUNTINGTON BEACH, CA 92647

WARE MALCOMB

PROJECT NO. 100-100
REV. 02/2015

SHEET
11

ATTACHMENT NO. 2.12

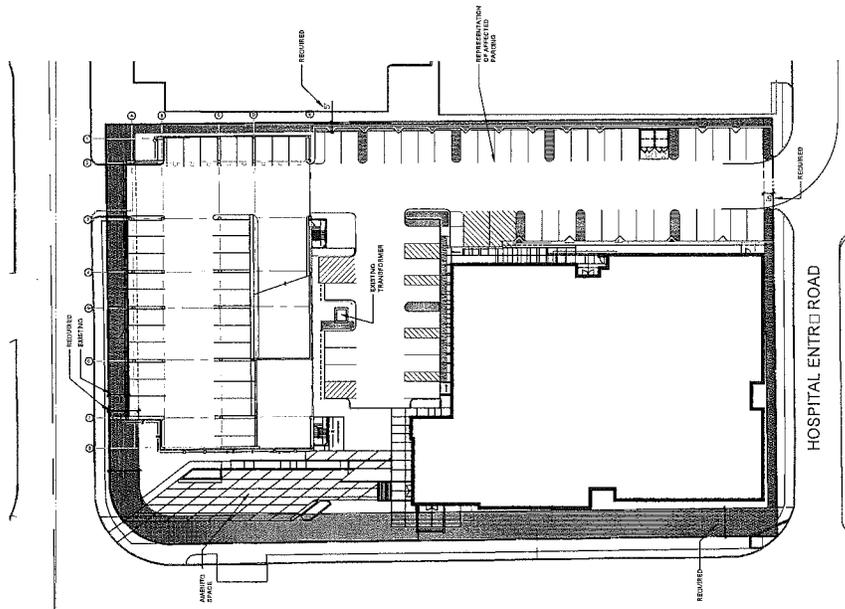


Intersection of Beach Blvd & Ronald Dr Looking Northeast

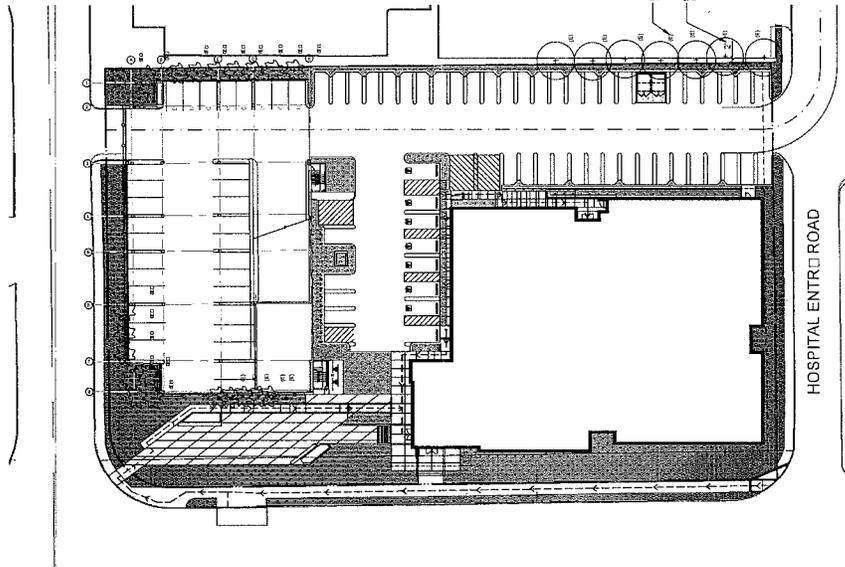
Conceptual Renderings

HUNTINGTON BEACH MEDICAL OFFICE BUILDING
177152-17762 BEACH BLVD, HUNTINGTON BEACH, CA 92647

WARE MALCOMB
PROJECT NO. 08
#03-2015
SHEET
13



Required Landscape



Provided Landscape

LANDSCAPE AND PARKING CONFORMANCE MATRIX				
SUBJECT	CODE SECTION	REQUIRED	PROPOSED	COMMENTS
LANDSCAPE	232.08	MINIMUM 80 SITE COVERAGE 6273 SF SETBACKS AND PLANTING FINGERS 11189 SF	16841 SF	6212 SF (74%) OF COVERED LANDSCAPE PROVIDED
FRONT SETBACK SIDE SETBACK	2.4.3 2.4.4	30' MIN 5' MIN		15' (WITH VARIANCE) 5' (WITH VARIANCE) SETBACKS SHOWN
AMENITY SPACE	2.6.1	44500 0100 0 4580 SF	7500 SF	3050 SF AMENITY PROVIDED
PARKING	BEGSP 2.7.1	OFFICE-MEDICAL SURFACED 201 442,045 0201	5 STRUCTURED 147 5 ACC. STALLS 201	7 PARKING STALLS PROVIDED LANDSCAPE REQUIREMENTS
ACCESSIBLE PARKING	CBC 119-208.2	201-000 PARKING 5 ACC. STALLS	7 ACC. STALLS	NO CHANGE
LOADING ZONE	BEGSP 231.04	1 SPACE 000000 SF 4-600 000000 02.25	3 LOADING STALLS	NO CHANGE

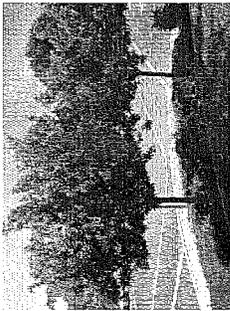
SUMMARY

LANDSCAPING SETBACKS AND PLANTING FINGERS AS REQUIRED WOULD INVALIDATE THE PROJECT DUE TO LOST PARKING STALLS. THE PROJECT IS PROVIDING 48% MORE LANDSCAPING THAN REQUIRED. IN ADDITION AMENITY SPACE THAT IS 80% LARGER THAN REQUIRED IS BEING PROVIDED. LANDSCAPE AMONGST MEETING THE REQUIREMENTS OF THE PROJECT PLAN AND DISCUSS TO ALLOW FOR MORE TREES ON SITE PLEASE SEE PROJECT NARRATIVE FOR MORE DETAILS.

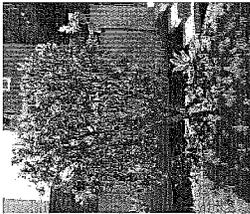
- THE PROJECT IS PROVIDING 48% MORE LANDSCAPING THAN REQUIRED.
- THE PROJECT IS PROVIDING 68% MORE AMENITY SPACE THAN REQUIRED.



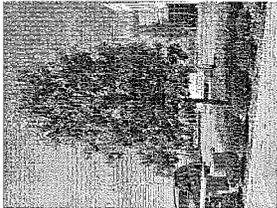
Trees



ARBUTUS X MARINA /
MARINA STRAWBERRY TREE



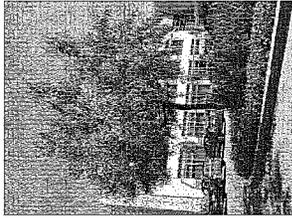
METROSIDEROS EXCELSA /
NEW ZEALAND CHRISTMAS TREE



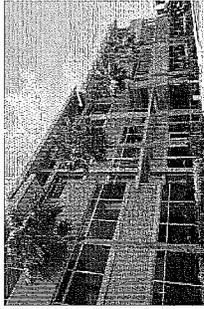
LOPHOSTEMON CONFERTUS /
BRISBANE BOX



OLEA EUROPAEA SWAN HILLY /
SWAN HILL FRUITLESS OLIVE



FICUS LANCEA /
AFRICAN SUIAC

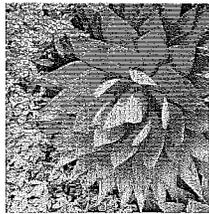


WASHINGTONIA ROBUSTA /
MEXICAN FAN PALM
(PROPOSED AND EXISTING)

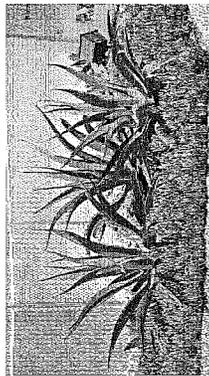
Shrubs & Ground Covers



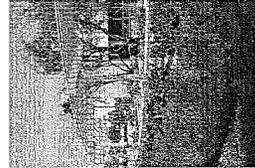
AEONIUM SINENSE PLANT /
DINNER PLATE AEONIUM



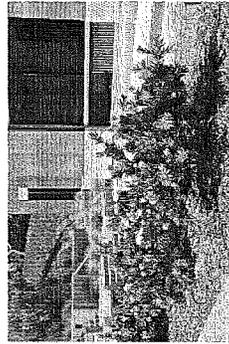
AGAVE VIVIPARA /
MOONSHINE AGAVE



AGAVE VIVIPARA /
OCTOPUS AGAVE



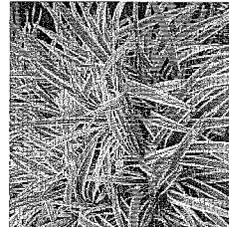
BOUGAINVILLEA LA. SOLAN. /
DWARF RED BOUGAINVILLEA



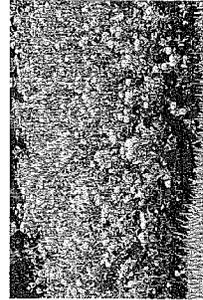
CAREX REPENS /
DWARF BOTTLE BRUSH



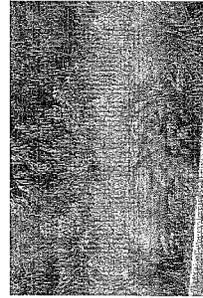
CAREX DIVULSA /
BERKELEY SEDGE



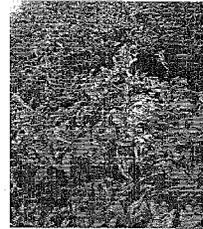
DIANELLA T. VARIEGATA /
VARIEGATED TASMANIAN FLAX LILY



LANTANA NEW GOLD /
NEWGOLD LANTANA



MUHLENBERGIA C. REGAL MIST /
PINK MUHLY



DISTICTIS BICOLORIA /
BLOOD-RED TRUMPET VINE

The proposed plants have been selected on the basis of their ability to tolerate the site's conditions. The plants are listed in the order of their selection. The plants are listed in the order of their selection. The plants are listed in the order of their selection.

1" = 40'
0 5 10 20 40 80 100
NORTH



WARE MALCOMB
ARCHITECTS
1000 S. GARDEN AVENUE
SUITE 100
PICO CA 90660

PROPOSED PLANT MATERIAL IMAGES

HUNTINGTON BEACH MEDICAL OFFICE BUILDING
17752-17762 Beach Blvd, Huntington Beach, CA 92647

WARE MALCOMB

SHEET
1715-3901-00
06.23.2015
L1.2

FORC
Engineering, Inc.
150 S. Old Springs Road
Suite 210
Redding, CA 96008
714-985-6580

RCC 4379
DATE

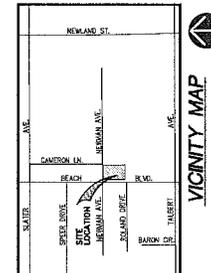


NO. REVISION	DATE

ACCRETIVE REALTY
HUNTINGTON BEACH, CA
CONCEPTUAL GRADING & DRAINAGE PLAN

ISSUE	CONTRACT
DATE	5-22-2019
DRAWN BY	DRIVER
DRAWING FILE	
PROJECT NO.	14-48
SHEET NUMBER	1
OF	2
SCALE	AS SHOWN

CONCEPTUAL GRADING AND DRAINAGE PLAN



RAW EARTHWORK

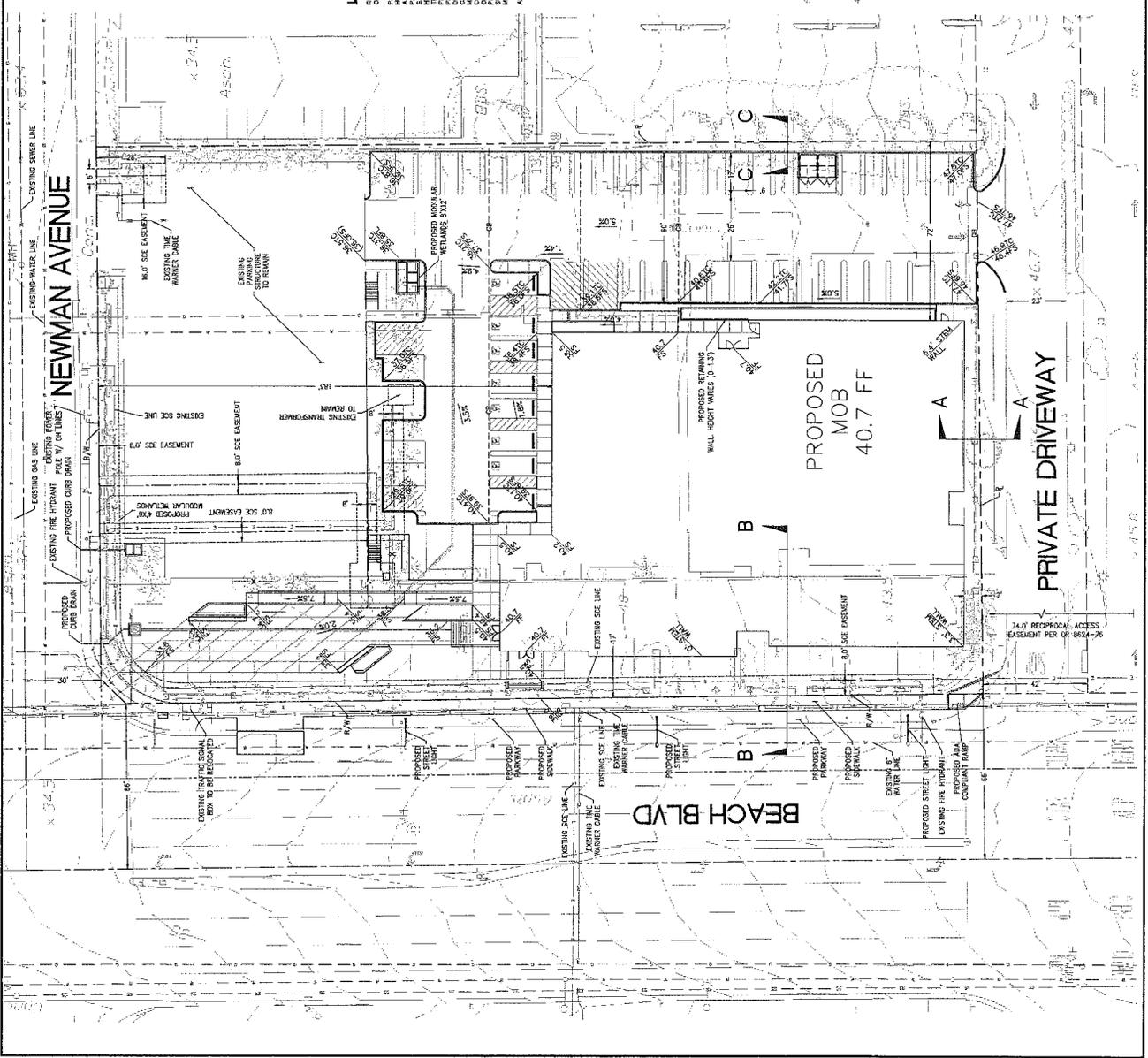
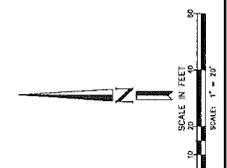
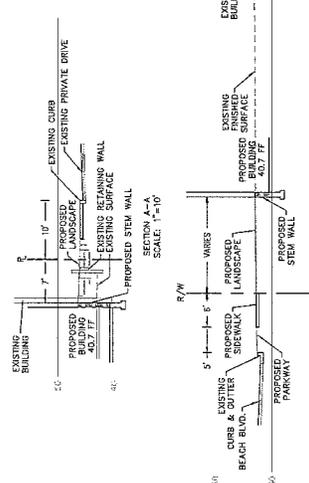
SITE EARTHWORK	2,400	700	41,700
TOTAL EXPORT			1,700 CY

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, CALIFORNIA, PARCELS 4 OF MAPS NO. 84-103, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 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985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

EARTHWORK NOTES:

- 1. EARTHWORK SHOWN IS BASED UPON:
 - A. PROPOSED BUILDING STRUCTURAL SLAB THICKNESS OF 8"
 - B. EXISTING BUILDING SLAB THICKNESS OF 8"
 - C. PROPOSED PAVEMENT SECTION OF 4" PCC
- 2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THEIR OWN EARTHWORK NUMBERS FOR PRICING/CONTRACT PURPOSES.
- 3. EXCAVATION HAS BEEN MADE FOR BUILDING PAD OVER IMPROVEMENTS/ORDINANCE MATERIALS.
- 4. STARTING AND REMOVALS OF EXISTING ON-SITE IMPROVEMENTS/ORDINANCE MATERIALS.
- 5. NO ASSUMPTION HAS BEEN MADE FOR SOIL SHRINKAGE VALUES.



RECEIVED

JUN 23 2015

Project Narrative and CUP/Variance Request

Dept. of Planning
& Building

Date:	June 23, 2015	Project Name:	Site Plan Review 15-001 Beach Blvd. Medical Pavilion
To:	Jill Arabe City of Huntington Beach, Department of Building and Planning 2000 Main Street Huntington Beach, CA 92648	Project Location:	17752-17762 Beach Blvd. Medical Office Building
		From:	Mila Cobian, Project Manager 949.788.4078 mcobian@waremalcomb.com
Subject:	Project Narrative and CUP/Variance Request	WM Project #:	IRV15-3001-00

DEVELOPER INFORMATION

Blue Sky HB, LLC ("Blue Sky") acquired the real property located at 17752-17762 Beach Boulevard and Newman Drive in Huntington Beach, California on May 22, 2015. The existing property consists of a 30,000 square foot, 3-story medical office building; a 18,582 square foot, 3-story surgery center and an adjacent 147 stall parking structure. Both buildings are vacant. The previous owner's neglect of the property has created an environment conducive to the homeless population and excessive vandalism. Upon taking ownership, Blue Sky began site cleanup, patrolled security and responded to city law enforcement requests.

Blue Sky has engaged Accretive Realty Advisors, Inc. ("ARA") to develop and asset manage the property. Both Blue Sky and ARA are owned and operated by Thomas LeBeau. Since 2003, ARA has developed several notable Orange County medical buildings inclusive of recently completed Providence Medical Center (Fullerton) and San Juan Medical Center (San Juan Capistrano). In addition to ground up development ARA focuses on value added and repositioning medical office projects, including medical buildings located in Aliso Viejo and San Clemente, California

PROPOSED DEVELOPMENT

The Beach Medical Pavilion is envisioned as new a Class A, 44,500 square foot, two story medical office building with an adjacent refurbished 147 car parking structure.

The proposed project includes the demolition of the two existing medical office buildings and improvements to the parking structure. The existing parking structure will undergo a meaningful redesign which will include exterior screening and landscaping. The exterior of the structure will include updated signage and required accessibility improvements. The surface parking will also be enhanced to accommodate 54 spaces, including 7 disabled spaces. The proposed medical office building is designed in accordance with the City Specific Plan 14 Guidelines.

HEALTHCARE MODEL

The expanding population and demographics in and around Huntington Beach indicate an increasing demand for the expansion of regional healthcare providers and individual physicians. Increased demand has created a new model for the delivery of healthcare and providers such as Memorial Care and Kaiser are making the necessary adjustments to their

architecture | planning | interiors
graphics | civil engineering

10 edelman
irvine. ca. 92618

international reach
waremalcomb.com

p 949.660.9128
f 949.863.1581

facilities. The larger healthcare providers now require medical office buildings that can accommodate multiple types of physicians and services in one location. New, efficient space calls for larger, uninterrupted floor plates with easy access for patients. The office layout must contain a central admitting area including waiting room with exam rooms and staff facilities behind the admitting area. Beach Blvd Medical Pavilion is designed to provide the necessary building dimensions to accommodate this new healthcare model. At completion, Beach Blvd Medical Pavilion will meet the demand for efficient medical office in the immediately adjacent area and beyond.

COMMUNITY

Beach Blvd Medical Pavilion will provide Huntington Beach residents convenient access to medical services from large healthcare providers. The tenant base will create employment opportunities and economic benefit to surrounding retail shops. The new medical building will also replace the current vacant buildings, creating a safer environment for surrounding neighbors.

LEASING

Beach Blvd Medical Pavilion is 85% pre-leased to two tenants, both on 15 year lease terms. MemorialCare Medical Group, an affiliate of MemorialCare Health Systems will provide multi-specialty care, radiology and urgent care. Fresenius Medical Care will provide dialysis and renal care.

RECIPROCAL PARKING AGREEMENTS

On Title there is a Parking Agreement dated May 25, 1968 along with the First Amendment dated December 12, 1972. The Parking Agreement has a term of 30 years (see section 16 of the Parking Agreement). The parties within the agreement have elected not to extend the agreement terms.

In December 12, 1972, the parties created the First Amendment to Parking Agreement to amend certain sections of the Parking Agreement, however the First Amendment did not extend the term of the Parking Agreement.

Included in the submittal package are the Parking Agreement, First Amendment and the Chain of Ownership for Parcel 10 (corner of Beach Blvd and Newman Ave).

These documents show that there is no longer any binding agreement for reciprocal parking between Parcel 10 and any adjacent parcels.

UNRECORDED PARKING AGREEMENT

There is a Parking Agreement between Ko's Huntington Beach Medical Building and AltaMed Health Services Corporation dated 12/18/12 that is not recorded on Title. This Agreement allows AltaMed Health Services the temporary use of sixty parking spaces for a 5 year term. In accordance with section 7, either party may terminate this Agreement by providing 30 days written notice.

Written notice will be provided to AltaMed in July 2015 for termination of this agreement in August 2015. There will be no further obligation to provide any parking for AltaMed or any neighboring/adjacent parcels.

RECIPROCAL ACCESS AGREEMENT

The property parcel as illustrated in the parcel map and as described in the property legal description has reciprocal ingress and egress access over the 42 ft wide road easement together with the 32 ft wide easement as described in Book 8624, Page 76. The Easement Deed was recorded on June 7, 1968.

CUP REQUEST

After initial submittal of the project package to planning, we were informed that city staff have been directed by the City Council to amend the Beach and Edinger Corridors Specific Plan (BECSP). One of the requested amendments was to require a 30 ft. setback from all front property lines (i.e., along all street) for any project within the BECSP. Subsequently, the BECSP Amendment was approved, and now our project is affected and requested to comply with the minimum 30 ft. setback. In order to deviate, the BECSP Amendment includes a request to reduce the setback to a minimum of 15 ft. subject to a Conditional Use Permit. (BECSP Amendment - ZTA 15-003).

We are hereby requesting the setback of 15' from Beach Boulevard via the CUP process. This project cannot move forward without the allowance of the 15' setback. There are two major reasons for this. First, if the 30' setback is required, there will not be enough square footage left on the site to justify the medical office use and allow for the program that is appropriate for this use to function. Second, this will in turn not allow for enough space on the site remaining for the amount of parking this use requires.

VARIANCE REQUEST

Due to the various constraints on this site, we are requesting a variance to alleviate specific landscaping requirements, which are stated below:

1. The east and south property lines are considered side yard property lines. (Property lines adjacent to Beach Boulevard and Newman Avenue are front yard property lines.) The minimum side yard setback is 5 ft. and shall be landscaped per Section 2.6.9 – Setback Area Landscaping. (BECSP Section 2.4.4)

The east side of the property butts up against an adjacent commercial property and currently contains existing parking stalls. The site narrows along this side of the lot to the north. A 5' setback from the property line along this side would impact parking and driveways, causing negative impacts on parking count. We will utilize the parking overhang allowance to increase the landscaping, and add landscaping diamonds meeting the requirements of a 4'x4' planting box to allow for trees to be planted along the east side. Additionally, the adjoining property has a planter and trees on their side of the property line, which will serve well for screening purposes and should be considered. Another item to note is that trees along the east side in general will provide only minimal shading to the site due to solar orientation throughout the day. Adding landscaping to the south side of the property will take away two parking stalls, which cannot be lost.

2. Continuous rows of parking stalls shall be subdivided by trees planted at a minimum spacing of one tree every five spaces. Trees shall be located between the sides of angled or perpendicular parking stalls. (BECSP Section 2.7.3)

Due to the size constraints of this site, there is no possible way to provide the requested trees without losing a significant amount of parking, which would in turn invalidate the project. Additionally, for medical use, it is more beneficial for the patients that will be visiting this building to have an unobstructed travel experience from the area of

parking to the building. Adding landscape planters in between parking spaces would be detrimental to the ease of access for the patients and could provide unnecessary tripping hazards (many of the patients will be elderly).

As demonstrated in the sheet "Landscape Variance Request", landscaping setbacks and planting fingers as required would invalidate the project due to lost parking stalls. We are not requesting less landscaping, but rather a re-organization of where the landscaping would occur due to the constraints of the site and the needs for the proposed use. In fact, the project is providing 48% more landscaping than required. In addition, an enlarged amenity space that is 68% larger than required is being provided.

In response to the questions stated in the application form, item number 19:

- a. What exceptional circumstances apply to the subject property (including size, shape, topography, location or surroundings) that deprive it of privileges normally enjoyed?

This property has many limitations, including its end to end existing grade differential (about 9') which is to remain, its long and narrow shape, and the presence of the existing parking structure. The biggest challenge of this site however, is the imposition of the amended Beach and Edinger Corridors Specific Plan revised setback requirements. Not only was the site limiting to begin with, but now there is less space on the site available to place the building, and more importantly parking and all the ingress/egress issues that come along with parking. We must contend with the slope of the site, making it difficult to place accessible parking, an existing transformer, maneuvering around the existing parking structure, and landscaping requirements. For all of these reasons, we are requesting the CUP for the 15' setback, but even with that, precious feet are lost that we were previously counting on for the site.

- b. Explain why the request will not constitute a grant of special privilege.

Since the Specific Plan revision was imposed on the project after the project was designed and submitted, we had no control over this factor and the lost space on site as a result. We have done everything possible to mitigate all requirements on site, besides the two landscaping issues described above. As previously stated, we are not requesting less landscaping (we are providing more than required), but rather a re-organization of where the landscaping would occur due to the constraints of the site and the needs for the proposed use. The intent of the code is still being met by providing the extended planter due to the parking overhang on the east side, the proposed diamonds instead of finger islands to allow for trees, and there is a planter area in excess of 5' on the south side between the parking and the street. No special privilege is assumed here.

- c. Why is this request necessary for the preservation and enjoyment of one or more substantial property rights when compared with other properties in the same zoning designation?

The property was purchased by the developer with the intent of providing medical office use on the site, as originally submitted to the city in the initial submittal package and the multiple meetings with planning staff before that submittal. With the revision of the Specific Plan midway through the process, it put the project in jeopardy of not occurring due to the limitations on the site previously described. This small re-organization of landscaping areas is a small tradeoff for the benefits to be gained from this development, to the community and the City of Huntington Beach. The benefits of the excess landscaping and large amenity space provided greatly outweigh the non-conformance to these landscaping requirements.

- d. State reasons why the granting of the request will not be materially detrimental to the public welfare.

WARE MALCOMB
Leading Design for Commercial Real Estate

There is no danger or dis-benefit from this request to the public welfare. The landscape areas in question are at the back of the building, in the private parking lot. The mitigation of these landscape areas to attempt to meet with the requirements of the code are arguably equivalent to the standards that are being deviated from, and pose no detriment to anyone. In this case, the omission of the landscape planting fingers will actually be of benefit to the public visiting this building as previously described above. The large, lushly vegetated amenity space provided as part of this project will be exponentially more beneficial to the area and the surrounding community than the few omitted planting areas in the back of the building.

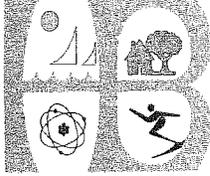
architecture | planning | interiors
graphics | civil engineering

10 edelman
irvine, ca. 92618

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ATTACHMENT NO. 3.5



City of Huntington Beach

2000 MAIN STREET

CALIFORNIA 92648

DEPARTMENT OF PLANNING AND BUILDING

www.huntingtonbeachca.gov

Planning Division

714.536.5271

Building Division

714.536.5241

July 6, 2015

Mila Cobian, Ware Malcomb
10 Edelman
Irvine, CA 92618

**SUBJECT: SITE PLAN REVIEW NO.15-001/ CONDITIONAL USE PERMIT NO. 15-020/
VARIANCE NO. 15-003 (BEACH MEDICAL PAVILION) – 17752-17762 BEACH
PROJECT IMPLEMENTATION CODE REQUIREMENTS**

Dear Applicant,

In order to assist you with your development proposal, staff has reviewed the project and identified applicable city policies, standard plans, and development and use requirements, excerpted from the City of Huntington Beach Zoning & Subdivision Ordinance and Municipal Codes. This list is intended to help you through the permitting process and various stages of project implementation.

It should be noted that this requirement list is in addition to any "conditions of approval" adopted by the Planning Commission. Please note that if the design of your project or site conditions change, the list may also change.

If you would like a clarification of any of these requirements, an explanation of the Huntington Beach Zoning & Subdivision Ordinance and Municipal Codes, or believe some of the items listed do not apply to your project, and/or you would like to discuss them in further detail, please contact me at jarabe@surfcity-hb.org or 714-374-5357 and/or the respective source department (contact person below).

Sincerely,

Jill Arabe
Associate Planner

Enclosure

cc: Khoa Duong, Building Division – 714-872-6123
Steve Eros, Fire Department – 714-536-5531
Steve Bogart, Public Works Department – 714-374-1692
Jane James, Planning Manager
Property Owner
Project File

Attachment No. 4.1



HUNTINGTON BEACH BUILDING DIVISION

PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: June 12, 2015

PROJECT NAME: Newman Medical Office Building

ENTITLEMENTS: Planning Application No. 2015-0041/ Conditional Use Permit No. 15-020/
Variance No. 15-003

PROJECT LOCATION: 17752-17762 Beach Boulevard, 92647 (southeast corner of Beach Blvd.
and Newman Ave.)

PROJECT PLANNER: Jill Arabe, Associate Planner

PLAN REVIEWER: Khoa Duong, P.E

TELEPHONE/E-MAIL: (714) 872-6123 / khoa@csgengr.com

PROJECT DESCRIPTION: To demolish two existing medical office buildings and construct a two-story, 44,500 sq. ft. medical office building and refurbish an existing 4-level parking structure.

The following is a list of code requirements deemed applicable to the proposed project based on plans received and dated May 22, 2015. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided upon final project approval. If you have any questions regarding these requirements, please contact the Plan Reviewer.

I. REQUIREMENT:

Development Impact Fees will be required for new construction.

II. CODE REQUIREMENTS BASED ON PLANS & DRAWINGS SUBMITTED:

1. Project shall comply with the current state building codes adopted by the city at the time of permit application submittal. Currently they are 2013 California Building Code (CBC), 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Electrical Code, 2013 California Energy Code, 2013 California Green Building Standards Code, and the Huntington Beach Municipal Code (HBMC). Compliance to all applicable state and local codes is required prior to issuance of building permit.
2. Provide complete Site plan –
 - Identify location of all curb ramps/truncated domes within the accessible paths of travel.
 - The location of accessible path of travel from public sidewalk to building entrances shall be located close to the exterior stairway.
 - Also, provide accessible path of travel from Hospital Entry Road to the building entrances.
3. Provide building code analysis including type of construction, allowable area and height, occupancy group requirements, exterior wall ratings per Chapter 5 and 7 of 2013 CBC.

4. Provide Project Data to show:
 - Type of Building Construction
 - Occupancy group(s)
 - Allowable building area per Chapter 5
 - Building with fire sprinkler system
5. Provide egress plan –
 - Provide occupant load calculations showing the occupant load in each room/area along with occupant load factors.
 - Show the exit paths of travel along with distances of travel.
 - Check the separation between required exits.
 - All required exterior exit doors must be accessible to disabled persons. Please show the exit paths of travel from exterior exit doors to the public way along with maximum slope of 5%; and cross slope of 2%.
6. Provide compliance to disabled accessibility requirements of Chapter 11B of the 2013 CBC.
 - All areas must be accessible to disabled persons.
 - Accessible parking stalls must comply with Chapter 11B of 2013 CBC.
 - Stairways and elevator must comply with Chapter 11B of 2013 CBC.
7. Existing parking structure with new screen walls –
 - For open parking structure, please check the ventilation per Section 406.5.2.
 - For enclosed parking structure, please provide mechanical ventilation system per Section 406.6.2.
8. Review and provide compliance with Title 17 of the City of Huntington Beach Municipal Code, Building and Construction. This document can be found online on the city's website.
9. For projects that will include multiple licensed professions in multiple disciplines, i.e. Architect and professional engineers for specific disciplines, a Design Professional in Responsible Charge will be requested per the 2013 CBC, Section 107.3.4.
10. In addition to all of the code requirements of the 2013 California Green Building Standards Code, specifically address Construction Waste Management per Sections 4.408.2, 4.408.3, 4.408.4, 5.408.1.1, 5.408.1.2, and 5.408.1.3 and Building Maintenance and Operation, Section 5.410. Prior to the issuance of a building permit the permittee will be required to describe how they will comply with the sections described above. Prior to Building Final Approval, the city will require a Waste Diversion Report per Sections 4.408.5 and 5.408.1.4.
11. The City of Huntington Beach has adopted the 2013 California Green Building Standards Code Appendices for Electric Vehicle Charging. This adopted Code may be found in the Huntington Beach Municipal Code under; Chapter 17.06.030 Residential Electric Vehicle (EV) Charging and 17.06.040 Non-Residential Electrical Vehicle (EV) Charging

III. COMMENTS:

1. Planning and Building Department encourage the use of pre-submittal building plan check meetings.
2. Separate Building, Mechanical, Electrical and Plumbing Permits will be required for all exterior accessory elements of the project, including but not limited to: fireplaces, fountains, sculptures,

light poles, walls and fences over 42" high, retaining walls over 2' high, detached trellises/patio covers, gas piping, water service, backflow anti-siphon, electrical, meter pedestals/electrical panels, swimming pools, storage racks for industrial/commercial projects. It will be the design professional in charge, responsibility to coordinate and submit the documents for the work described above.

3. Provide on all plan submittals for building, mechanical, electrical and plumbing permits, the Conditions of Approval and Code Requirements that are associated with the project through the entitlement process. If there is a WQMP, it is required to be attached to the plumbing plans for plan check.



HUNTINGTON BEACH FIRE DEPARTMENT

PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: June 17, 2015

PROJECT NAME: Newman Medical Office Building

ENTITLEMENTS: Planning Application No. 2015-0041/ Conditional Use Permit No. 15-020/
Variance No. 15-003

PROJECT LOCATION: 17752-17765 Beach Blvd. (southeast corner of Beach and Newman)

PLANNER: Jill Arabe, Associate Planner

PLAN REVIEWER-FIRE: Steve Eros, Fire Protection Analyst

TELEPHONE/E-MAIL: (714) 536-5531/ Steve.Eros@surfcity-hb.org

PROJECT DESCRIPTION: To demolish two existing medical office buildings and construct a two-story, 44,500 sq. ft. medical office building and refurbish an existing parking structure.

The following is a list of code requirements deemed applicable to the proposed project based on plans received and dated March 2nd, 2015. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided upon final project approval. The review comments below are not to be construed as being all inclusive. **The project is required to comply with all of the adopted Building, Fire, and Municipal Codes in effect at the time of grading and building plan submittal for permit issuance.** If you have any questions regarding these requirements, please contact the Plan Reviewer- Fire: Steve Eros, Fire Protection Analyst.

PRIOR TO DEMOLITION, GRADING, SITE DEVELOPMENT, ISSUANCE OF GRADING PERMITS, BUILDING PERMITS, AND/OR CONSTRUCTION, THE FOLLOWING SHALL BE REQUIRED:

Fire Master Plan

The following items shall be completed prior to precise grading plan or building plan approval.

A separate Fire Master Plan is required for submittal to the HBFD. It shall be a site plan reflecting all the following fire department related items:

- Fire hydrant locations, public and private.
- FDC locations.

- Dimensions from FDC's to hydrants.
- DCDA locations.
- Fire sprinkler riser locations and location of system serving.
- FACP locations.
- Knox box and knox switch locations.
- Gate locations, and opticoms if required.
- Fire lane locations, dimensions, lengths, turning radii at corners and circles/cul-de-sacs.
- Fire lane signage and striping.
- Property dimensions or accurate scale.
- Building locations and heights.
- Building addresses and suite addresses. (FD)

Environmental

Imported Soil Plan. All imported soil shall meet *City Specification #431-92, Soil Cleanup Standards*. An "Imported Soil Work Plan" must be submitted to the Fire Department for review and approval prior to importing any soil from off site. Once approved, the soil source can be sampled per the approved work plan, then results sent to the HBFD for review. No rough grade will be approved prior to the actual soil source approval. Multiple soil sources required separate sampling as per the approved work plan, with no soil being imported until each source has been verified to meet the CS #431-92 requirements. (FD)

Fire Apparatus Access

The following items shall be completed prior to rough or precise grading plan approval.

Fire Access Roads shall be provided and maintained in compliance with City Specification # 401, *Minimum Standards for Fire Apparatus Access*. Driving area shall be capable of supporting a fire apparatus (75,000 lbs and 12,000 lb point load). Minimum fire access road width is twenty-four feet (24') wide, with thirteen feet six inches (13' 6") vertical clearance. Fire access roads fronting commercial buildings shall be a minimum width of twenty-six feet (26') wide, with thirteen feet six inches (13' 6") vertical clearance. For Fire Department approval, reference and demonstrate compliance with City Specification # 401 *Minimum Standards for Fire Apparatus Access* on the plans. (FD)

NOTE: The fire department access on the east side of the building is required to have a turn-around or loop back out to Beach Blvd. The plans propose a fire department access lane traveling through the existing parking structure. Section 2.1 of the Huntington Beach Fire Department City Specification #401 states that the fire department access lane shall be clear to the sky. The proposed access through the structure is unacceptable. Since the road exceeds 150 feet and terminates, a turn-around compliant with City Specification #401 is required. See Section 3.1 of City Specification #401 for reference. The contractor is currently working with the HBFD to agree upon an alternate means for having a fire department turnaround.

3.1 Roads exceeding 150 feet but less than 600 feet in length, and terminating, shall be provided with a radiused or hammerhead turnaround per Diagrams 1, 2 or 3 of City Specification #401, Minimum Standards for Fire Apparatus Access.

Sheet 14 of the proposed plans show trees that encroach our Fire Department Access lane. The fire department access lane shall only be allowed to be encroached upon for two feet on each end of the access lane. Please review the encroachment diagram associated with the HBFD City Specification #401 and modify the landscaping plans to show that tree encroachment will comply with our City Specification.

Maximum Grade For Fire Apparatus Access Roads shall not exceed 10%. (FD)

Hose Pull Lengths – The fire apparatus access road shall comply with the requirements of Section 503.1.1 of the Huntington Beach Fire Code. All access roads shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

No Parking shall be allowed in the designated 24 foot wide fire apparatus access road or supplemental fire access per City Specification # 415. For Fire Department approval, reference and demonstrate compliance with City Specification # 415 *Minimum Standards for Fire Apparatus Access* on the plans. (FD)

Fire Lanes, as determined by the Fire Department, shall be posted, marked, and maintained per City Specification #415, *Fire Lanes Signage and Markings on Private, Residential, Commercial and Industrial Properties*. The site plan shall clearly identify all red fire lane curbs, both in location and length of run. The location of fire lane signs shall be depicted. No parking shall be allowed in the designated 24 foot wide fire apparatus access road or supplemental fire access per City Specification # 415. For Fire Department approval, reference and demonstrate compliance with City Specification # 401 *Minimum Standards for Fire Apparatus Access* on the plans. (FD)

Fire Protection Systems

The following items shall be completed prior to issuance of a certificate of occupancy.

Fire Protection Systems

Fire Extinguishers shall be installed and located in all areas to comply with California Fire Code standards found in *City Specification #424*. The minimum required dry chemical fire extinguisher size is 2A 10BC and shall be installed within 75 feet travel distance to all portions of the building. Extinguishers are required to be serviced or replaced annually. **(FD)**

Commercial Food Preparation Fire Protection System required for commercial cooking. Plans (three sets) shall be submitted to the Fire Department as separate plans for permits and approval. Reference compliance with *City Specification # 412 Protection Of Commercial Cooking Operations* in the plan notes. **(FD)**

Fire Alarm Systems are required. Each building will require a building fire alarm system. For Fire Department approval, shop drawings shall be submitted to the Fire Department as separate plans for permits and approval. For Fire Department approval, reference and demonstrate compliance with CFC Chap. 9 and NFPA 72 on the plans. A C-10 electrical contractor, certified in fire alarm systems, must certify the system is operational annually. **(FD)**

Automatic Fire Sprinklers are required. NFPA13 Automatic fire sprinkler systems are required per Huntington Beach Fire Code for new buildings with "fire areas" 5000 square feet or more or for buildings 10,000 square feet or more. An addition of square footage to an existing building also triggers this requirement.

Separate plans (two sets) shall be submitted to the Fire Department for permits and approval.

Automatic fire sprinkler systems must be maintained operational at all times, with maintenance inspections performed quarterly and the system serviced annually by a state licensed C-16 Fire Protection Contractor.

For Fire Department approval, reference that a fire sprinkler system will be installed in compliance with the California Fire Code, NFPA 13, and *City Specification # 420 - Automatic Fire Sprinkler Systems* in the plan notes.

NOTE: When buildings under construction are more than one (1) story in height and required to have automatic fire sprinklers, the fire sprinkler system shall be installed and operational to protect all floors lower than the floor currently under construction. Fire sprinkler systems for the current floor under construction shall be installed, in-service, inspected and approved prior to beginning construction on the next floor above. **(FD)**

Fire Department Connections (FDC) to the automatic fire sprinkler systems shall be located to the front of the building, at least 10 feet from and no farther than 150 feet of a properly rated fire hydrant. (FD)

Fire Sprinkler Underground

On-Site Fire Service Piping (FSP) Application for permit from the HBFD shall be made for on-site Fire Service Piping (FSP), including but not limited to, private fire service mains and underground sprinkler laterals. Maximum allowed velocity of fire flow in supply piping is 12 fps. Additionally, application for permit shall be made for fire protections systems (sprinklers, alarms, chemical, fire pumps, etc.) as applicable.

Permits may be obtained at the City of Huntington Beach Department Fire Department by completing a Fire Permit Form (available at Fire Administration) and submitting such plans and specifications as required by the bureau of fire prevention. A permit constitutes permission to begin work in accordance with approved plans and specifications. The permit fee includes plan checking and inspections by an authorized fire prevention inspector. Development reviews/approvals by the bureau of fire prevention during planning do not constitute approval to perform FSP or fire protection system work, unless otherwise noted. (FD)

Connection to the Public Water Supply - Separate plans shall be submitted to the Public Works Department detailing the connection, piping, valves and back-flow prevention assembly (DDCA) for approval and permits. Approval by Public Works and the Fire Department must be completed prior to issuance of a grading permit. The dedicated private fire water service off-site improvements shall be shown on a precise grading plan, prepared by a Licensed Civil Engineer. (FD)

Fire Personnel Access

The following items shall be completed prior to issuance of a certificate of occupancy.

Main Secured Building Entries shall utilize a KNOX[®] Fire Department Access Key Box, installed and in compliance with City Specification #403, Fire Access for Pedestrian or Vehicular Security Gates & Buildings. Please contact the Huntington Beach Fire Department Administrative Office at (714) 536-5411 for information. Reference compliance with City Specification #403 - KNOX[®] Fire Department Access in the building plan notes. (FD)

Elevators shall be sized to accommodate an ambulance gurney. Minimum interior dimensions are 7 feet (84") wide by 4 feet 3 inches (51") deep. Minimum door opening dimensions are 3 feet 6 inches (42") wide right or left side opening. Center opening doors require a 4 feet 6 inches (54") width. For Fire Department approval, reference and demonstrate compliance on the building plans. (FD)

Fire Sprinkler System Controls access shall be provided, utilizing a KNOX® Fire Department Access Key Box, installed and in compliance with City Specification #403, Fire Access for Pedestrian or Vehicular Security Gates & Buildings. The approximate location of the system controls shall be noted on the plans. Reference compliance in the plan notes. (FD)

Addressing and Street Names

The following items shall be completed prior to issuance of a certificate of occupancy.

Structure or Building Address Assignments. The Planning Department shall review and make address assignments. The individual dwelling units shall be identified with numbers per City Specification # 409 Street Naming and Address Assignment Process. For Fire Department approval, reference compliance with City Specification #409 Street Naming and Address Assignment Process in the plan notes. (FD)

Commercial Building Address Numbers shall be installed to comply with City Specification #428, Premise Identification. Building address number sets are required on front and rear of the structure and shall be a minimum of six inches (10") high with one and one half inch (1 ½") brush stroke. Note: Units shall be identified with numbers per City Specification # 409 Street Naming and Address Assignment Process. Unit address numbers shall be a minimum of four inches (4") affixed to the units front and rear door. All address numbers are to be in a contrasting color. For Fire Department approval, reference compliance with City Specification #428 Premise Identification in the plan notes and portray the address location on the building. (FD)

GIS Mapping Information

The following items shall be completed prior to issuance of a certificate of occupancy.

- a. **GIS Mapping Information** shall be provided to the Fire Department in compliance with GIS Department CAD Submittal Guideline requirements. Minimum submittals shall include the following:
 - Site plot plan showing the building footprint.
 - Specify the type of use for the building
 - Location of electrical, gas, water, sprinkler system shut-offs.
 - Fire Sprinkler Connections (FDC) if any.
 - Knox Access locations for doors, gates, and vehicle access.
 - Street name and address.

Final site plot plan shall be submitted in the following digital format and shall include the following:

- Submittal media shall be via CD rom to the Fire Department.

- Shall be in accordance with County of Orange Ordinance 3809.
- File format shall be in .shp, AutoCAD, AUTOCAD MAP (latest possible release) drawing file - .DWG (preferred) or Drawing Interchange File - .DXF.
- Data should be in NAD83 State Plane, Zone 6, Feet Lambert Conformal Conic Projection.
- Separate drawing file for each individual sheet.
In compliance with Huntington Beach Standard Sheets, drawing names, pen colors, and layering convention. and conform to *City of Huntington Beach Specification # 409 – Street Naming and Addressing*.

For specific GIS technical requirements, contact the Huntington Beach GIS Department at (714) 536-5574.

For Fire Department approval, reference compliance with *GIS Mapping Information* in the building plan notes. (FD)

Building Construction

The following items shall be completed prior to issuance of a certificate of occupancy.

Emergency Responder Radio Coverage is required throughout all portions of the structure(s) as per Chapter 5 of the CFC. A separate plan must be submitted to the HBFD for method of addressing this requirement. System must be tested, certified and then inspected once building construction is primarily complete but before the certificate of occupancy will be issued. (FD)

Stairwell Required Minimum Widths. Standpipe systems in stairwell areas shall not impede code required minimum widths. (FD)

Exit Signs And Exit Path Markings will be provided in compliance with the Huntington Beach Fire Code and Title 24 of the California Administrative Code. Reference compliance in the plan notes. (FD)

Gates and Barriers shall be able to open without the use of a key or any special knowledge or effort. Gates and barriers in a means of egress shall not be locked, chained, bolted, barred, latched or otherwise rendered unable to open at times when the building or area served by the means of egress is occupied, and shall swing in the direction of travel when required by the Building Code for exit doors. (FD)

Posting Of Room Occupancy is required. Any room having an occupant load of 50 or more where fixed seats are not installed, and which is used for assembly purposes, shall have the capacity of the room posted in a conspicuous place near the main exit per CFC Chapter 10. (FD)

Egress Illumination/Emergency Exit Lighting with emergency back-up power is required. Provide means of egress illumination per HBFC 604.2.4 and UBC 1003.2.9. (FD)

Exit Ways and Aisles Plan is required for this project. HBFC section 408.2.1. Plans shall be submitted indicating the seating arrangement, location and width of exit ways and aisles for approval and an approved copy of the plan shall be kept on display on the premises. (FD)

THE FOLLOWING CONDITIONS SHALL BE MAINTAINED DURING CONSTRUCTION:

- a. Fire/Emergency Access And Site Safety shall be maintained during project construction phases in compliance with CFC Chapter 14, Fire Safety During Construction And Demolition. (FD)
- b. Fire/Emergency Access And Site Safety shall be maintained during project construction phases in compliance with City Specification #426, Fire Safety Requirements for Construction Sites. (FD)

OTHER:

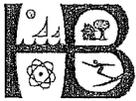
- a. Discovery of additional soil contamination or underground pipelines, etc., must be reported to the Fire Department immediately and the approved work plan modified accordingly in compliance with City Specification #431-92 Soil Clean-Up Standards. (FD)
- b. Outside City Consultants The Fire Department review of this project and subsequent plans may require the use of City consultants. The Huntington Beach City Council approved fee schedule allows the Fire Department to recover consultant fees from the applicant, developer or other responsible party. (FD)

Fire Department City Specifications may be obtained at:
Huntington Beach Fire Department Administrative Office
City Hall 2000 Main Street, 5th floor
Huntington Beach, CA 92648
or through the City's website at

http://www.huntingtonbeachca.gov/government/departments/Fire/fire_prevention_code_enforcement/fire_dept_city_specifications.cfm

If you have any questions, please contact the Fire Prevention Division at (714) 536-5411.

S:\Prevention\1-Development\1-Planning Department - Planning Applications, CUP's\2012 CUP's\Gothard16001(Archstone Apts)



CITY OF HUNTINGTON BEACH

PUBLIC WORKS INTERDEPARTMENTAL COMMUNICATION

PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: JUNE 18, 2015
PROJECT NAME: KO MEDICAL OFFICE BUILDING
ENTITLEMENTS: SPR 15-01, CUP 15-020, VAR 15-003
PLNG APPLICATION NO: 2015-0041
DATE OF PLANS: MAY 22, 2015
PROJECT LOCATION: 17752-17762 BEACH BOULEVARD
PROJECT PLANNER: JILL ARABE, ASSOCIATE PLANNER
PLAN REVIEWER: STEVE BOGART, SENIOR CIVIL ENGINEER *SB*
TELEPHONE/E-MAIL: (714) 374-1692 / SBOGART@SURFCITY-HB.ORG
PROJECT DESCRIPTION: DEMOLISH TWO EXISTING MEDICAL OFFICE BUILDINGS AND CONSTRUCT A TWO-STORY, 44,500 SQ. FT. MEDICAL OFFICE BUILDING AND REFURBISH AN EXISTING PARKING STRUCTURE.

The following is a list of code requirements deemed applicable to the proposed project based on plans as stated above. The items below are to meet the City of Huntington Beach's Municipal Code (HBMC), Zoning and Subdivision Ordinance (ZSO), Department of Public Works Standard Plans (Civil, Water and Landscaping) and the American Public Works Association (APWA) Standards Specifications for Public Works Construction (Green Book), the Orange County Drainage Area management Plan (DAMP), Caltrans Standards and Specifications, and the City Arboricultural and Landscape Standards and Specifications. The list is intended to assist the applicant by identifying requirements which shall be satisfied during the various stages of project permitting, implementation and construction. If you have any questions regarding these requirements, please contact the Plan Reviewer or Project Planner.

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A GRADING PERMIT:

1. A Precise Grading Plan, prepared by a Licensed Civil Engineer, shall be submitted to the Public Works Department for review and approval. (MC 17.05/ZSO 230.84) The plans shall comply with Public Works plan preparation guidelines and include the following improvements on the plan:
 - a. Curb, gutter and sidewalk along the Beach Boulevard and Newman Avenue frontages shall be removed and replaced per the requirements of the Beach/Edinger Specific Plan, City and Caltrans Standards. (ZSO 230.84, BECSP)

- b. The existing driveway approach on Beach Boulevard shall be removed and replaced with curb, gutter, and sidewalk per the requirements of the Beach/Edinger Specific Plan, City and Caltrans Standards. (ZSO 230.84)
- c. The existing driveway along Newman Avenue shall be removed and replaced per Public Works Standard Plan 211. (ZSO 230.84)
- d. An ADA compliant access ramp at the corner of Beach Boulevard and Newman Avenue per Caltrans Standard Plan A88A. (ZSO 230.84, Caltrans, ADA)
- e. An ADA compliant access ramp on the north curb return along Beach Boulevard at the private entry road. (ZSO 230,84, Caltrans, ADA)
- f. All frontage improvements shall be constructed pursuant to City and Caltrans standards and specifications, and the required street configuration and specifications of the Beach Edinger Corridor Specific Plan. The frontage along Beach Boulevard shall comply with the "Palm Tree Boulevard Typical" configuration with a 6 feet minimum sidewalk width installed along the back of planter. The frontage along Newman Avenue shall comply with the "Neighborhood Street" requirements. The required frontage improvements include new curb, gutter, sidewalk, parkway landscaping and irrigation, median landscaping and irrigation, street pavement, street trees, street lighting, benches and trash receptacles. In lieu of physically constructing said improvements, the applicant may choose to pay an in-lieu fee, representing the current estimated cost of said improvements, as approved by the Public Works Dept. (BECSP, ZSO 230-84.D)
- g. New street lights shall be constructed on Beach Boulevard and Newman Avenue pursuant to City Standard codes and specifications, and the required street configuration and specifications of the "Beach Edinger Corridor Specific Plan". In lieu of physically constructing said street lights, the applicant may choose to pay an in-lieu fee, representing the current estimated cost of these improvements, as approved by the Public Works Dept. (BECSP, ZSO 230-84.D for non-subdivisions or ZSO 255,04 for subdivisions).
- h. The existing bus stop on Beach Boulevard shall be upgraded, if required by OCTA. The applicant shall coordinate the upgrades with OCTA and the City. Evidence shall be provided to the City that the applicant has completed the improvements/upgrades that are satisfactory to OCTA. (GP CE)
- i. The existing sewer lateral may potentially be utilized if it is of adequate size, conforms to current Public Works Standards and is determined to be in serviceable condition by submitting a video of the lateral. If the sewer is determined to be inadequate, a new sewer lateral shall be installed, connecting to the main in the alley, per Public Works Standards. (ZSO 230.84)
- j. Any existing on-site public water pipeline (including removal of water appurtenances) impacted by the proposed structures, curbs, planters, parking facilities, trees, walls, etc. shall be abandoned per Water Division Standards. (State of California Administrative Code, Title 17)
- k. A new domestic water service and meter shall be installed per Water Division Standards, and sized to meet the minimum requirements set by the California Plumbing Code (CPC)
- l. A separate irrigation water service and meter shall be installed per Water Division Standards. (ZSO 232) (MC 14.52)
- m. Separate backflow protection devices shall be installed per Water Division Standards for domestic, irrigation and fire water services, and shall be screened from view. (Resolution 5921 and State of California Administrative Code, Title 17)

- n. The fire sprinkler system that is required by the Fire Department for the proposed development shall have a separate dedicated fire service line installed per Water Division Standards. (ZSO 230.84)
- o. Any on-site fire hydrants that are required by the Fire Department to serve the proposed development shall become a private fire hydrant system that is served by private fire water service(s). These private fire water services shall be separated from the public water main(s) in Beach Blvd. and Newman Ave. by construction of a double check detector assembly. The double check detector assembly shall be constructed per the City of Huntington Beach Standard Plan No. 618, and shall be sized to provide adequate fire flow protection for the private on-site fire hydrant(s). The double check detector assembly shall be located within landscape planter area or other area and screened from view by landscaping or other method as approved by the Department of Public Works. The on-going maintenance of this private fire water service and private fire hydrants shall be the responsibility of the development owner(s). (Resolution 5921, State of California Administrative Code, Title 17)
2. The developer shall submit for approval by the Fire Department and Water Division, a hydraulic water analyses to ensure that fire service connection from the point of connection to City water main to the backflow protection device satisfies Water Division standard requirements.
3. The Property Owner shall request of the Public Works Department in writing to vacate any existing water line easements, previously dedicated to the City of Huntington Beach that will no longer be needed. The Property Owner shall provide to the Public Works Department all necessary legal descriptions and exhibits to describe the water line easements to be abandoned. (ZSO 230.84)
4. Per the City-adopted Beach Edinger Corridor Specific Plan, which ultimately requires the construction of a 12-inch public waterline on both sides of Beach Boulevard, a 12-inch public water line shall be constructed in Beach Boulevard along the property frontage per City Water Division Standards. In lieu of physically constructing this pipeline and appurtenances, the applicant may choose to pay an in-lieu fee representing the current estimated cost of this public improvement, as approved by the Public Works Department. (Beach Edinger Corridor Specific Plan)
5. Prior to the issuance of any grading or building permits for projects that will result in soil disturbance of one or more acres of land, the applicant shall demonstrate that coverage has been obtained under the Waste Discharge Requirements for Discharges of Storm Water Runoff Associated with Construction and Land Disturbance Activities (Order No. 2009-0009-DWQ) [General Construction Permit] by providing a copy of the Notice of Intent (NOI) submitted to the State of California Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number. Projects subject to this requirement shall prepare and implement a Stormwater Pollution Prevention Plan (SWPPP) conforming to the current National Pollution Discharge Elimination System (NPDES) requirements shall be submitted to the Department of Public Works for review and acceptance. A copy of the current SWPPP shall be kept at the project site and another copy to be submitted to the City. (DAMP)
6. A Project Water Quality Management Plan (WQMP) conforming to the current Waste Discharge Requirements Permit for the County of Orange (Order No. R8-2009-0030) [MS4 Permit] prepared by a Licensed Civil Engineer, shall be submitted to the Department of Public Works for review and acceptance. The WQMP shall address Section XII of the MS4 Permit and all current surface water quality issues.
7. The project WQMP shall include the following:
 - a. Low Impact Development.
 - b. Discusses regional or watershed programs (if applicable).

- c. Addresses Site Design BMPs (as applicable) such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas.
 - d. Incorporates the applicable Routine Source Control BMPs as defined in the Drainage Area Management Plan. (DAMP)
 - e. Incorporates Treatment Control BMPs as defined in the DAMP.
 - f. Generally describes the long-term operation and maintenance requirements for the Treatment Control BMPs.
 - g. Identifies the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs.
 - h. Describes the mechanism for funding the long-term operation and maintenance of the Treatment Control BMPs.
 - i. Includes an Operations and Maintenance (O&M) Plan for all structural BMPs.
 - j. After incorporating plan check comments of Public Works, three final WQMPs (signed by the owner and the Registered Civil Engineer of record) shall be submitted to Public Works for acceptance. After acceptance, two copies of the final report shall be returned to applicant for the production of a single complete electronic copy of the accepted version of the WQMP on CD media that includes:
 - i. The 11" by 17" Site Plan in .TIFF format (400 by 400 dpi minimum).
 - ii. The remainder of the complete WQMP in .PDF format including the signed and stamped title sheet, owner's certification sheet, Inspection/Maintenance Responsibility sheet, appendices, attachments and all educational material.
 - k. The applicant shall return one CD media to Public Works for the project record file.
8. Indicate the type and location of Water Quality Treatment Control Best Management Practices (BMPs) on the Grading Plan consistent with the Project WQMP. The WQMP shall follow the City of Huntington Beach; Project Water Quality Management Plan Preparation Guidance Manual dated June 2006. The WQMP shall be submitted with the first submittal of the Grading Plan.
 9. A suitable location, as approved by the City, shall be depicted on the grading plan for the necessary trash enclosure(s). The area shall be paved with an impervious surface, designed not to allow run-on from adjoining areas, designed to divert drainage from adjoining roofs and pavements diverted around the area, and screened or walled to prevent off-site transport of trash. The trash enclosure area shall be covered or roofed with a solid, impervious material. Connection of trash area drains into the storm drain system is prohibited. If feasible, the trash enclosure area shall be connected into the sanitary sewer. (DAMP)
 10. A soils report, prepared by a Licensed Engineer shall be submitted for reference only. (MC 17.05.150)
 11. The applicant's grading/erosion control plan shall abide by the provisions of AQMD's Rule 403 as related to fugitive dust control. (AQMD Rule 403)
 12. The name and phone number of an on-site field supervisor hired by the developer shall be submitted to the Planning and Public Works Departments. In addition, clearly visible signs shall be posted on the perimeter of the site every 250 feet indicating who shall be contacted for information regarding this development and any construction/grading-related concerns. This contact person shall be available immediately to address any concerns or issues raised by adjacent property

owners during the construction activity. That person will be responsible for ensuring compliance with the conditions herein, specifically, grading activities, truck routes, construction hours, noise, etc. Signs shall include the applicant's contact number, regarding grading and construction activities, and "1-800-CUTSMOG" in the event there are concerns regarding fugitive dust and compliance with AQMD Rule No. 403.

13. The applicant shall notify all property owners and tenants within 300 feet of the perimeter of the property of a tentative grading schedule at least 30 days prior to such grading.

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLIED WITH DURING GRADING OPERATIONS:

14. An Encroachment Permit is required for all work within the City's right-of-way. (MC 12.38.010/MC 14.36.030)
15. An Encroachment Permit is required for all work within Caltrans' right-of-way.
16. The developer shall coordinate the development of a truck haul route with the Department of Public Works if the import or export of material in excess of 500 cubic yards is required. This plan shall include the approximate number of truck trips and the proposed truck haul routes. It shall specify the hours in which transport activities can occur and methods to mitigate construction-related impacts to adjacent residents. These plans must be submitted for approval to the Department of Public Works. (MC 17.05.210)
17. Water trucks will be utilized on the site and shall be available to be used throughout the day during site grading to keep the soil damp enough to prevent dust being raised by the operations. (California Stormwater BMP Handbook, Construction Wind Erosion WE-1)
18. All haul trucks shall arrive at the site no earlier than 8:00 a.m. or leave the site no later than 5:00 p.m., and shall be limited to Monday through Friday only. (MC 17.05)
19. Wet down the areas that are to be graded or that is being graded, in the late morning and after work is completed for the day. (WE-1/MC 17.05)
20. The construction disturbance area shall be kept as small as possible. (California Stormwater BMP Handbook, Construction Erosion Control EC-1) (DAMP)
21. All haul trucks shall be covered or have water applied to the exposed surface prior to leaving the site to prevent dust from impacting the surrounding areas. (DAMP)
22. Prior to leaving the site, all haul trucks shall be washed off on-site on a gravel surface to prevent dirt and dust from leaving the site and impacting public streets. (DAMP)
23. Comply with appropriate sections of AQMD Rule 403, particularly to minimize fugitive dust and noise to surrounding areas. (AQMD Rule 403)
24. Wind barriers shall be installed along the perimeter of the site. (DAMP)
25. All construction materials, wastes, grading or demolition debris and stockpiles of soils, aggregates, soil amendments, etc. shall be properly covered, stored and secured to prevent transport into surface or ground waters by wind, rain, tracking, tidal erosion or dispersion. (DAMP)

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A BUILDING PERMIT:

26. A Precise Grading Permit shall be issued. (MC 17.05)

27. A drainage fee for the subject development shall be paid at the rate applicable at the time of Building Permit issuance. The current rate of \$13,880 per gross acre is subject to periodic adjustments. This project consists of 2.23 gross acres (including its tributary area portions along the half street frontages) for a total required drainage fee of \$30,952. City records indicate the previous use on this property never paid this required fee. Per provisions of the City Municipal Code, this one time fee shall be paid for all subdivisions or development of land. (MC 14.48)
28. The applicable Orange County Sanitation District Capital Facility Capacity Charge shall be paid to the City Department of Public Works. (Ordinance OCSD-40)

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO
ISSUANCE OF AN ENCROACHMENT PERMIT:**

29. Traffic Control Plans, prepared by a Licensed Civil or Traffic Engineer, shall be prepared in accordance with the latest edition of the City of Huntington Beach Construction Traffic Control Plan Preparation Guidelines and submitted for review and approval by the Public Works Department. (Construction Traffic Control Plan Preparation Guidelines)

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO FINAL
INSPECTION OR OCCUPANCY:**

30. Complete all improvements as shown on the approved grading, and improvement plans. (MC 17.05)
31. All new utilities shall be undergrounded. (MC 17.64)
32. All applicable Public Works fees shall be paid at the current rate unless otherwise stated, per the Public Works Fee Schedule adopted by the City Council and available on the city web site at http://www.surfcity-hb.org/files/users/public_works/fee_schedule.pdf. (ZSO 240.06/ZSO 250.16)
33. Prior to grading or building permit close-out and/or the issuance of a certificate of use or a certificate of occupancy, the applicant shall:
 - a. Demonstrate that all structural Best Management Practices (BMPs) described in the Project WQMP have been constructed and installed in conformance with approved plans and specifications.
 - b. Demonstrate all drainage courses, pipes, gutters, basins, etc. are clean and properly constructed.
 - c. Demonstrate that applicant is prepared to implement all non-structural BMPs described in the Project WQMP.
 - d. Demonstrate that an adequate number of copies of the approved Project WQMP are available for the future occupiers.



HUNTINGTON BEACH PLANNING AND BUILDING DEPARTMENT PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: July 6, 2015

PROJECT NAME: Beach Medical Pavilion

PLANNING APPLICATION NO.: 2015-041

ENTITLEMENTS: Site Plan Review No. 15-001/ Conditional Use Permit No. 15-020/ Variance No. 15-003

DATE OF PLANS: June 22, 2015

PROJECT LOCATION: 17752-17762 Beach Boulevard, 92647 (southeast corner of Beach Boulevard and Newman Avenue – Four Seasons Surgery Center)

PLAN REVIEWER: Jill Arabe, Associate Planner

TELEPHONE/E-MAIL: 714-374-5357 / jarabe@surfcity-hb.org

PROJECT DESCRIPTION: **SPR:** To permit the construction of a 44,500 sq. ft. two-story medical office building, upgrade of the existing four-level parking structure, and associated site improvements including landscaping, public open space, and surface parking lot. **CUP:** To permit a 15 ft. front yard setback for the two-story medical office building in lieu of a minimum of 30 ft. front setback. **VAR:** To allow (a) minimum one-foot wide landscape planter in lieu of five-feet adjacent to parking along east property line (excluding two-foot overhang for parking stalls); (b) one tree located in a diamond planter between spaces at the head of parking stalls in lieu of one tree located within a landscape finger/planter between every five spaces; (c) no landscape planters adjacent to two parking spaces along the south property line in lieu of five-feet of landscape planter.

The following is a list of code requirements deemed applicable to the proposed project based on plans stated above. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided should final project approval be received. If you have any questions regarding these requirements, please contact the Plan Reviewer.

1. The site plan, floor plans, and elevations approved by the Planning Commission shall be the conceptually approved design with the following modifications:
 - a. The site plan shall include all utility apparatus, such as but not limited to, backflow devices and Edison transformers. Utility meters shall be screened from view from public right-of-ways. Electric transformers in a required front or street side yard shall be enclosed in subsurface vaults.

Backflow prevention devices shall be not be located in the front yard setback and shall be screened from view. **(HBZSO Section 230.76)**

- b. All exterior mechanical equipment shall be screened from view on all sides. Rooftop mechanical equipment shall be setback a minimum of 15 feet from the exterior edges of the building. Equipment to be screened includes, but is not limited to, heating, air conditioning, refrigeration equipment, plumbing lines, ductwork and transformers. Said screening shall be architecturally compatible with the building in terms of materials and colors. If screening is not designed specifically into the building, a rooftop mechanical equipment plan showing proposed screening must be submitted for review and approval with the application for building permit(s). **(HBZSO Section 230.76)**
 - c. The site plan and elevations shall include the location of all gas meters, water meters, electrical panels, air conditioning units, mailboxes (as approved by the United States Postal Service), and similar items. If located on a building, they shall be architecturally integrated with the design of the building, non-obtrusive, not interfere with sidewalk areas and comply with required setbacks. **(HBZSO Section 230.76)**
 - d. All parking area lighting shall be energy efficient and designed so as not to produce glare on adjacent residential properties. Security lighting shall be provided in areas accessible to the public during nighttime hours, and such lighting shall be on a time-clock or photo-sensor system. **(HBZSO 231.18.C)**
2. Prior to issuance of demolition permits, the following shall be completed:
- a. The applicant shall follow all procedural requirements and regulations of the South Coast Air Quality Management District (SCAQMD) and any other local, state, or federal law regarding the removal and disposal of any hazardous material including asbestos, lead, and PCB's. These requirements include but are not limited to: survey, identification of removal methods, containment measures, use and treatment of water, proper truck hauling, disposal procedures, and proper notification to any and all involved agencies. **(AQMD Rule 1403)**
 - b. Pursuant to the requirements of the South Coast Air Quality Management District, an asbestos survey shall be completed. **(AQMD Rule 1403)**
 - c. The applicant shall complete all Notification requirements of the South Coast Air Quality Management District. **(AQMD Rule 1403)**
 - d. The City of Huntington Beach shall receive written verification from the South Coast Air Quality Management District that the Notification procedures have been completed. **(AQMD Rule 1403)**
 - e. All asbestos shall be removed from all buildings prior to demolition of any portion of any building. **(AQMD Rule 1403)**
3. Prior to issuance of grading permits, the following shall be completed:
- a. A Landscape and Irrigation Plan, prepared by a Licensed Landscape Architect shall be submitted to the Planning and Building Department for review and approval. **(HBZSO Section 232.04)**

- b. Existing mature trees that are to be removed must be replaced at a 2 for 1 ratio with a 36" box tree or palm equivalent (13'-14' of trunk height for Queen Palms and 8'-9' of brown trunk). **(CEQA Categorical Exemption Section 15304)**
 - c. "Smart irrigation controllers" and/or other innovative means to reduce the quantity of runoff shall be installed. **(HBZSO Section 232.04.D)**
 - d. Standard landscape code requirements apply. **(HBZSO Chapter 232)**
 - e. All landscape planting, irrigation and maintenance shall comply with the City Arboricultural and Landscape Standards and Specifications. **(HBZSO Section 232.04.B)**
 - f. Landscaping plans should utilize native, drought-tolerant landscape materials where appropriate and feasible. **(HBZSO Section 232.06.A)**
4. During demolition, grading, site development, and/or construction, the following shall be adhered to:
- a. All Huntington Beach Zoning and Subdivision Ordinance and Municipal Code requirements including the Noise Ordinance. All activities including truck deliveries associated with construction, grading, remodeling, or repair shall be limited to Monday - Saturday 7:00 AM to 8:00 PM. Such activities are prohibited Sundays and Federal holidays. **(HBMC 8.40.090)**
5. The structure(s) cannot be occupied, the final building permit(s) cannot be approved, and utilities cannot be released until the following has been completed:
- a. All new commercial and industrial development and all new residential development not covered by Chapter 254 of the Huntington Beach Zoning and Subdivision Ordinance, except for mobile home parks, shall pay a park fee, pursuant to the provisions of HBZSO Section 230.20 – *Payment of Park Fee*. The fees shall be paid and calculated according to a schedule adopted by City Council resolution. **(City of Huntington Beach Planning and Building Department Fee Schedule)**
 - b. If a tenant/employer within the building will occupy 40,000 sq. ft. or employ 100 persons or more, a Transportation Demand Management Plan shall be submitted for review and approval by the Planning and Building Department and implemented prior to issuance of the tenant's Certificate of Occupancy. **(HBZSO Section 230.36)**
 - c. A Certificate of Occupancy must be approved and issued by the Planning and Building Department. **(HBMC 17.04.036)**
 - d. Complete all improvements as shown on the approved grading, landscape and improvement plans. **(HBMC 17.05)**
 - e. All trees shall be maintained or planted in accordance to the requirements of Chapter 232. **(HBZSO Chapter 232)**
 - f. All landscape irrigation and planting installation shall be certified to be in conformance to the City approved landscape plans by the Landscape Architect of record in written form to the City Landscape Architect. **(HBZSO Section 232.04.D)**

BECSP ADDITIONAL CODE REQUIREMENTS & PLAN COMPLIANCE

1. All code requirements are specified as development “standards” or “regulations” in the BECSP. Compliance with all standards and regulations is mandatory, with exception of approved variances. **(Section 2.0)**
2. The project shall comply with all applicable standards of the Neighborhood Boulevard Segment. **(Section 2.1.7)**
3. Parking lots shall be illuminated to increase safety and provide clear views both to and within the site. Lighting plans shall be coordinated with the landscape plan to avoid light pole and tree conflicts. Pedestrian circulation routes shall include sidewalks and walkways from parking lots to main building entrances and have a minimum five-foot width. **(Section 2.7.3)**

Planning Commission Comments

1. Describe why a 2 story building is being constructed vs. a 3 story building.

Beach Blvd Medical Pavilion is currently 90% pre-leased to 2 tenants. These leases inclusive of designated uses were executed prior to the City's modification of the Beach-Edinger Specific Plan.

The first floor is 100% pre-leased. Uses on the first floor include a 4,432 square foot Urgent Care, 5,284 square foot Radiology, and a 12,841 square foot Dialysis Clinic. Urgent Care and Radiology share a joint waiting/reception area. Radiology has to be located on the first floor due to the weight of the machines such as MRI, CT and Mammography. Urgent Care is considered a "walk in use". Its first floor location is extremely important to both tenant and their patients by providing ease and visible access. Dialysis requires first floor access with covered, separate patient entry/exit. The majority of patients using this facility will arrive by van or ambulance and often need wheelchair or gurney assistance.

The second floor is approximately 75% leased to a single tenant containing a multi-specialty clinic. The tenant will have 15 to 20 physicians in this location including Primary Care, Orthopedics, Internal Medicine, Lab Services and a host of other specialties. This multi-specialty clinic will have one central waiting/reception area. The clinic requires building floor plates that can accommodate a layout to handle each specialty service. Narrow floor plates on multiple floor levels do not allow for the necessary efficiency. These tenants require floor plates between 20,000 to 30,000 square feet. The size of the floor plates is what drives the tenant's decision to occupy space in this desired location. We cannot reduce the floor plates as the tenants long term leases and their space design are already set. This project will not exist without floor plates of at least 22,250 sq ft.

ZONING CONFORMANCE MATRIX

TABLE 1		
Provision	Required/Allowed in Neighborhood Boulevard	Proposed Project
2.2 Use Regulations	Office: Medical services	Medical Office
2.2.2 Special Retail Configuration	n/a	n/a
2.3.1 & 2.3.2 Height	Min. 1 story/ Max. 4 stories	2 stories
2.3.3 Building Length	Max. 300 ft.	187 ft.
2.3.4 Special Building Length	n/a	n/a
2.3.5 Building Massing	Beach- 3L:2H to 5L:2H Other- 2L:3H to 5L:2H	Beach- 3L:2H Other- existing structure
2.4.1 Building Orientation	Orientation to street required	Orientation to street and open space
2.4.2 Private Frontage	Various types including Shopfront, Corner Entry, Common Lobby, Stoop, etc.	Common Lobby Entry
2.4.3 Front Setback	Beach- 30 ft. min. Other- 30 ft. min.	Beach- 15 ft. (CUP) Other- 10 ft. (existing)
2.4.4 Side Setback	Min. 5 ft.	71 ft.(east) & 6 ft. (south)
2.4.5 Rear Yard Setback	Min. 5 ft.	n/a
2.4.6 Alley Setback	Min. 5 ft.	n/a
2.4.7 Frontage Coverage	Beach- Min. 50% Other- Min. 50%	Beach – 58% Other- existing structure
2.4.8 Space Between Buildings	20 ft.	43 ft.
2.4.9 Build-to-Corner	Required	n/a- Existing parking structure
2.5.1 Improvements to Existing Streets	Palm Tree Boulevard Neighborhood Streets required	Provided n/a- Existing parking structure
2.5.2 Provision of New Streets	n/a	n/a
2.5.3 Block Size	Max. 3000 ft.	n/a
2.5.4 Street Connectivity	n/a	n/a
2.5.5 Required East-West Street Connection	n/a	n/a
2.5.6 Residential Transition-Boundary Street	n/a	n/a
2.6.1 Provision of Public Open Space	100 sq. ft./1000 sq. ft. = 4,450 sq. ft.	7,500 sq. ft.
2.6.2 Special Public Open Space	n/a	n/a
2.6.3 Provision of Private	n/a	n/a

ZONING CONFORMANCE MATRIX

Open Space		
2.6.4 Public Open Space Types	Park, Linear Green, Square, Plaza, Mid-Block Green, Courtyard Plaza, Passage/Paseo, Pocket Park/Playground	Plaza
2.6.5 Private Open Space Types	n/a	n/a
2.6.6 Stormwater Mgmt	BMPs required, Priority Project	Provided – WQMP required to ensure compliance
2.6.7 Stormwater BMP Types	Source Control BMPs, Site Design BMPs, Treatment Control BMPs	Provided- WQMP required to ensure compliance
2.6.8 Open Space Landscaping	Required	Provided – see public open space section of this report
2.6.9 Setback Area Landscaping Types	Boulevard Landscaping req. Interior Block Setback req.- groundcover, moderate screening	* Variance requested for reduced landscape setbacks
2.7.1 Provision of Parking	Office- 4.5 min/1000 sq. ft. = 201 spaces	201 parking spaces * Variance requested for 1 tree in landscape finger per every 5 spaces
2.7.2 Parking Types	Surface Lot – side, rear Structure – Exposed – not permitted	Surface lot – rear/side Structure – existing (upgrade visual appearance)
2.8.1 Façade Regulations	Top and Base - required	Provided – see analysis